

CROSSROADS INFINITI

5730 & 5740 MARKET STREET
WILMINGTON, NORTH CAROLINA

TRC SUBMITTAL

DECEMBER 2019

FOR

CROSSROADS HOLDINGS, LLC
1101 BUCK JONES RD.
RALEIGH, NC 27606

NOTICE REQUIRED

ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF SAID UTILITIES.

CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.

CONTRACTORS SHALL CONTACT OVERHEAD ELECTRIC PROVIDER TO COMPLY WITH FEDERAL OSHA 1910.333 MINIMUM APPROACH DISTANCE TO ENERGIZED POWERLINES AND OSH 29 CFR 1926.1407-1411 MUST BE FOLLOWED.

CONTACT THESE UTILITIES

CITY OF WILMINGTON PLANNING & DEVELOPMENT
ATTN: BRIAN CHAMBERS, PLANNER
PH: 910-342-2782

ATTN: ZONING INSPECTIONS
PH: 910-254-0900

PIEDMONT NATURAL GAS
ATTN: CATHY PLEASANT
PH: 910-251-2827

EMERGENCY DIAL 911
POLICE - FIRE - RESCUE

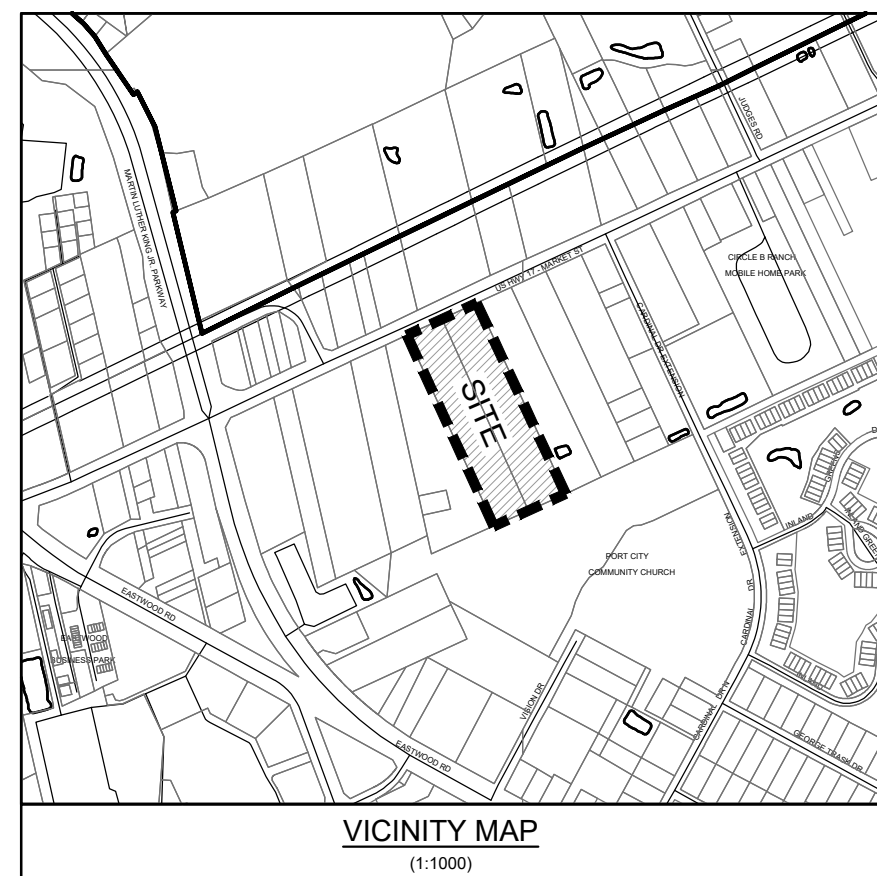
CAPE FEAR PUBLIC UTILITY AUTHORITY (WATER & SEWER)
ENGINEERING/INSPECTIONS
PH: 910-332-6560

OPERATIONS/MAINTENANCE
PH: 910-322-6550

DUKE ENERGY
DISTRIBUTION CONSTRUCTION SERVICE
PH: 910-256-7223
DEP CSC PH: 1-800-452-2777

AT&T/BELL SOUTH
ATTN: JAMES BATSON, ENGINEERING
PH: 910-341-1621

TIME WARNER CABLE
PH: 910-763-4638



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

CROSSROADS INFINITI

5730 & 5740 MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT # 18458.PE

DECEMBER 2019

SHEET INDEX

SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
SV-1	SITE SURVEY
SV-1	RECOMBINATION PLAT (DRAFT)
C-1.0	DEMOLITION PLAN
C-2.0 - C-2.2	SITE PLAN
C-4.0	DETAILS
C-5.0	AUTO TURN EXHIBIT
L-1.0	TREE INVENTORY
L-2.0 - L-2.1	LANDSCAPE PLAN

APPROVALS:

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan

Name	Date
Planning _____	
Traffic _____	
Fire _____	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CONSULTANTS:

APPLICANT:

CROSSROADS HOLDINGS, LLC.
1101 BUCK JONES RD.
RALEIGH, NC 27606

ENGINEER /

LANDSCAPE ARCHITECT:

PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403
ATTN: TIM CLINKSCALES P.E.
MIKE NICHOLS, RLA
PHONE: (910) 791-6707

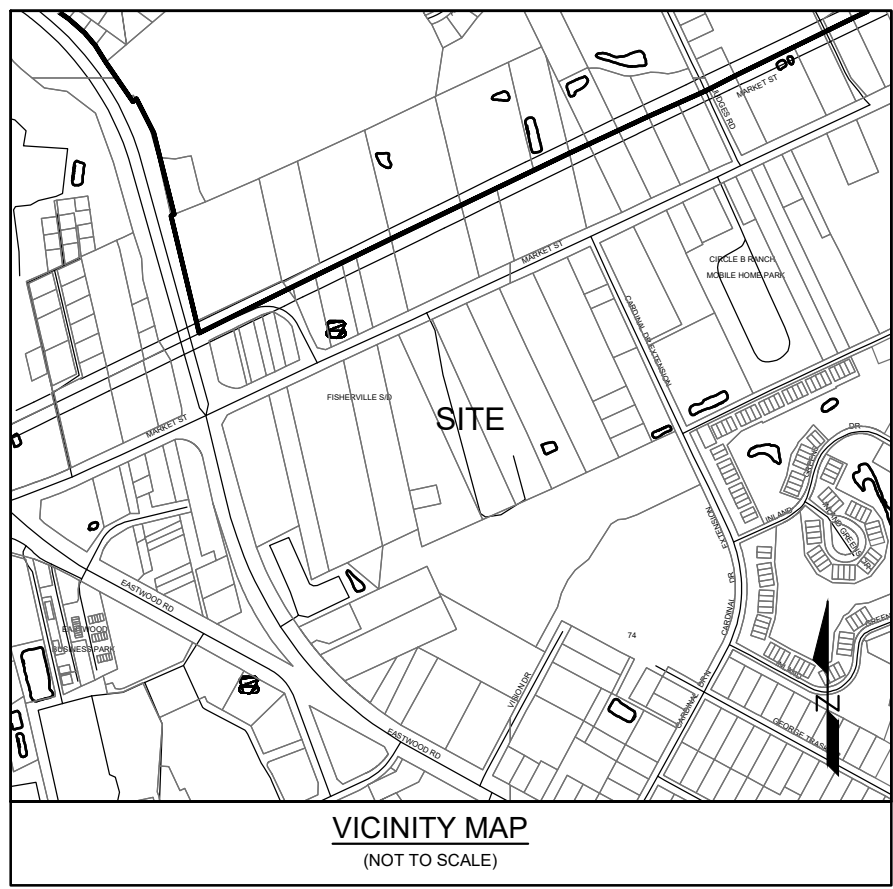
SURVEYOR:

CHRIS GAGNE, P.L.S.
PARAMOUNTE ENGINEERING, INC.
122 CINEMA DRIVE
WILMINGTON, NORTH CAROLINA 28403

PREPARED BY:

PARAMOUNTE
ENGINEERING, INC.

122 Cinema Drive Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846



VICINITY MAP
(NOT TO SCALE)

PID: R05000-002-004-000
PORT CITY COMMUNITY CHURCH
DB 5659, PG 88
ZONED-R-10

LEGEND:

- IRON PIPE FOUND
- IRON ROD FOUND
- IRON ROD SET
- PKF
- PKS
- CONCRETE MONUMENT FOUND
- LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- TRANSFORMER
- TELEPHONE RISER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- CLEAN-OUT
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- WELL
- CURB INLET
- CATCH BASIN
- GAS METER
- MAILBOX
- TREES
- CHAINLINK FENCE
- EXISTING CONTOUR
- RIGHT OF WAY/BOUNDARY

OWNER INFORMATION

PIN: R05009-005-006-000, R05009-005-005-000,
R05009-005-003-000, R05009-005-002-000
5720-5744 MARKET STREET
ZONED: RB
DEED BOOK 1139, PAGE 1804
DEED BOOK 1185, PAGE 1272
DEED BOOK 3343, PAGE 179
DEED BOOK 4799, PAGE 322
MAP BOOK 56, PAGE 160
MAP BOOK 53, PAGE 295

LOT AREA = 437,124 SQ.FT. ± 10.035 ACRES ±

CERTIFICATE OF ACCURACY AND MAPPING

I, CHRIS GAGNE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTIONS RECORDED IN THE REFERENCES NOTED ON THIS DRAWING). THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS DASHED LINES AS DRAWN FROM INFORMATION NOTED. THAT THE RATIO OF PRECISION IS 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS DAY OF A.D.,

I, CHRIS GAGNE, CERTIFY THAT THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

CHRIS GAGNE, PLS LICENSE NO. L-4700



NOTES

- AREA CALCULATED BY COORDINATE METHOD.
- ALL ELEVATIONS ARE (NAVD 88)
- THE SUBJECT PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN BY FEMA PANEL NUMBER 3720314800K IN NEW HANOVER COUNTY WITH AN EFFECTIVE AUGUST 28, 2018.
- UTILITIES AS SHOWN ARE PLOTTED FROM INFORMATION VISIBLE IN THE FIELD AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. ADDITIONAL UTILITIES NOT SHOWN MAY EXIST. THE APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED PRIOR TO LAND DISTURBING ACTIVITIES.
- THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
- FIELD WORK COMPLETED ON DECEMBER 5, 2018.

REVISIONS:

CLIENT INFORMATION:
BRINKLEY ESTON C JR KATIE B
5730 MARKET ST
WILMINGTON, NC 28405

PARAMOUNT ENGINEERING INC.

EXISTING CONDITIONS SURVEY
5720-5744 MARKET STREET
R05009-005-006-000, R05009-005-005-000,
R05009-005-003-000, R05009-005-002-000
NEW HANOVER COUNTY, NC

PROJECT STATUS

CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST:

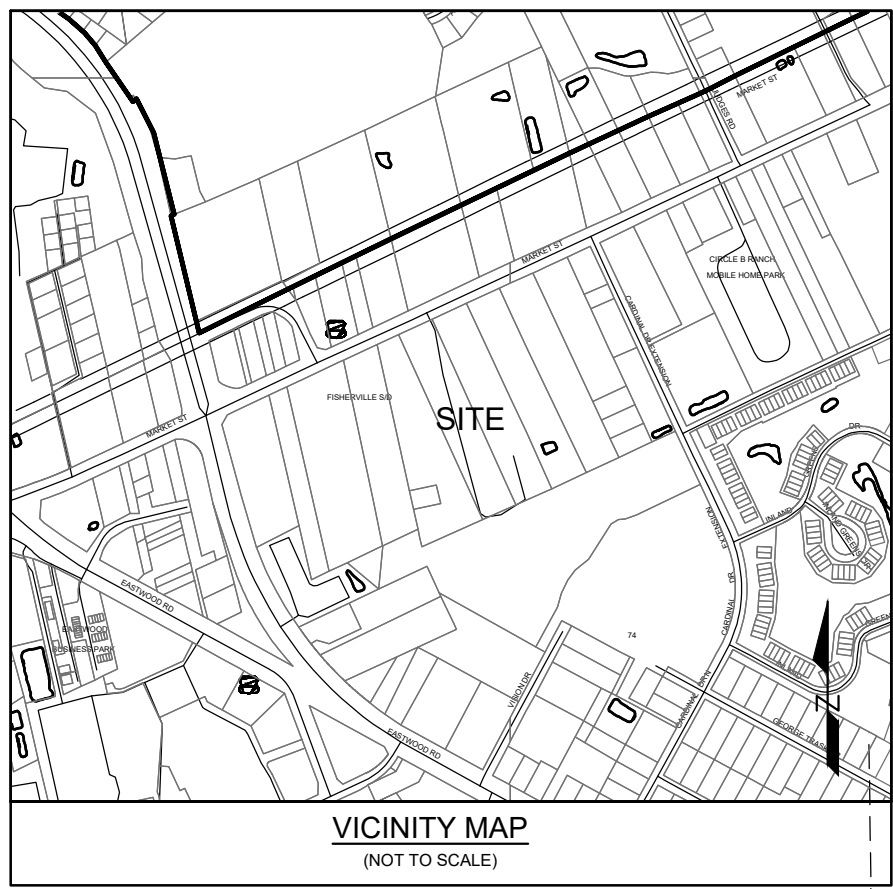
DRAWING INFORMATION
DATE: 12/06/2018
BY: T.H.B.
DESIGNED:
CHECKED:

SEAL

PRELIMINARY DRAWING
DO NOT USE FOR
CONSTRUCTION,
RECORDATION,
CONVEYANCES, OR
SALES

SV-1

PEI JOB#: 18458.PE



PID: R05000-002-004-000
PORT CITY COMMUNITY CHURCH
DB 6659, PG 66
ZONED-R-10

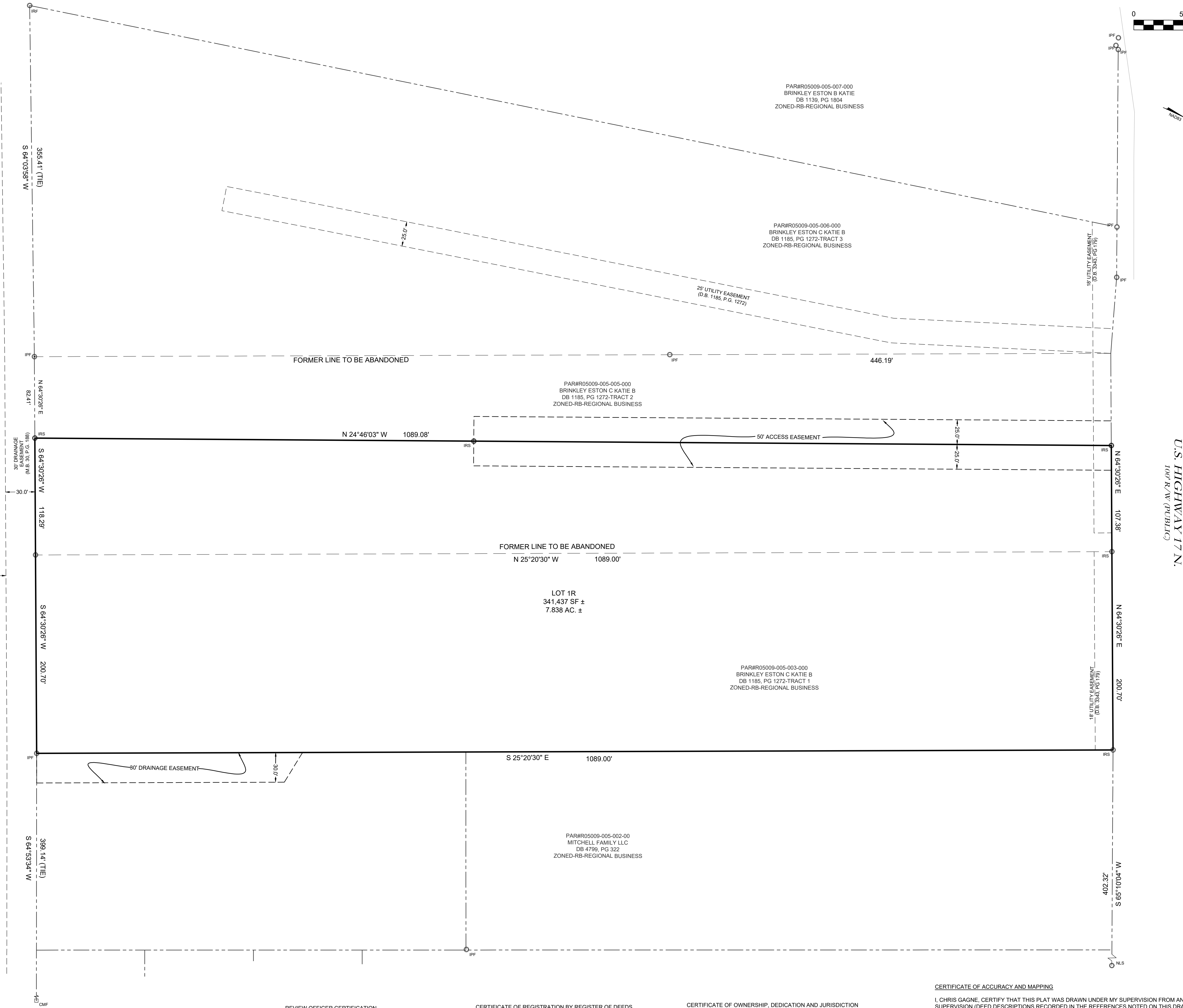
- LEGEND:**
- | | | | |
|-------|-------------------------|-------|-------------------------|
| ○ IPF | IRON PIPE FOUND | —— | BOUNDARY LINE |
| ○ IRF | IRON ROD FOUND | ---- | ADJOINING BOUNDARY LINE |
| ○ IRS | IRON ROD SET | ===== | RIGHT OF WAY |
| ⊙ PKF | PK NAIL FOUND | ----- | 100-YR FLOOD LINE |
| ○ PKS | PK NAIL SET | | |
| □ CMF | CONCRETE MONUMENT FOUND | | |
| ○ CP | COMPUTED POINT | | |

OWNER INFORMATION

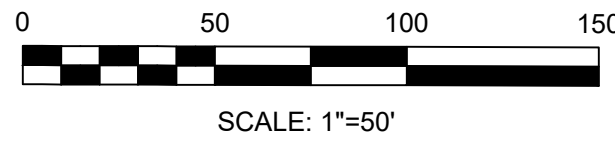
PIN: R05009-005-006-000, R05009-005-005-000,
R05009-005-003-000, R05009-005-002-000
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NOTES

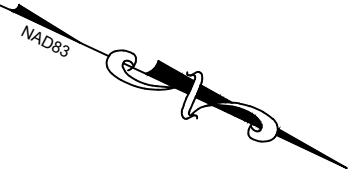
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- THIS LOT IS SUBJECT TO ALL UTILITY EASEMENTS, RESTRICTIONS, OR COVENANTS OF RECORD.
- FIELD WORK COMPLETED ON DECEMBER 5, 2018.



U.S. HIGHWAY 17 N.
100' R/W (PUBLIC)



SCALE: 1\"/>



REVIEW OFFICER CERTIFICATION

STATE OF NORTH CAROLINA
CITY OF WILMINGTON

I, _____, REVIEW OFFICER OF
CITY OF WILMINGTON, CERTIFY THAT THE MAP OR PLAT
TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

CERTIFICATE OF REGISTRATION BY REGISTER OF DEEDS

NEW HANOVER COUNTY
NORTH CAROLINA

FILED FOR REGISTRATION ON THE _____ DAY OF _____ AT
(A.M./P.M.) AND DULY RECORDED IN MAP BOOK _____ AT
PAGE _____.

REGISTER OF DEEDS _____

CERTIFICATE OF OWNERSHIP, DEDICATION AND JURISDICTION

I (WE) HEREBY CERTIFY THAT I AM (WE) ARE THE OWNER(S) OF THE
PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE)
HEREBY ADOPT THIS PLAN OF RECOMBINATION WITH MY (OUR) OWN
FREE CONSENT CONSERVATION SPACE AND AND OTHER AREAS TO
PUBLIC OR PRIVATE USE AS NOTED. ALL ROADS AND DRAINAGE
EASEMENTS ARE DEDICATED FOR UTILITY PURPOSES. FURTHER, I
(WE) CERTIFY THE LAND AS SHOWN HEREON IS LOCATED WITHIN THE
SUBDIVISION JURISDICTION OF NEW HANOVER COUNTY.

SIGNATURE OF OWNER(S) _____ DATE _____

CERTIFICATE OF ACCURACY AND MAPPING

I, CHRIS GAGNE, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY
SUPERVISION (DEED DESCRIPTIONS RECORDED IN THE REFERENCES NOTED ON THIS DRAWING). THAT THE BOUNDARIES
NOT SURVEYED ARE SHOWN AS DASHED LINES AS DRAWN FROM INFORMATION NOTED. THAT THE RATIO OF PRECISION OR
POSITIONAL ACCURACY IS 1:15,000, AND THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED,
WITNESS MY ORIGINAL SIGNATURE, LICENSE AND SEAL THIS _____ DAY OF _____, A.D., _____

CHRIS GAGNE, PLS LICENSE NO. L-4700 _____ DATE _____

I, CHRIS GAGNE, CERTIFY THAT THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING
PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO DEFINITION OF SUBDIVISION.

CHRIS GAGNE, PLS LICENSE NO. L-4700 _____

REVISIONS:

CLIENT INFORMATION:

BRINKLEY ESTON C JR KATIE B
5730 MARKET ST
WILMINGTON, NC 28405

PARAMOUNT ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)

RECOMBINATION PLAT
5720-5744 MARKET STREET

R05009-005-003-000, R05009-005-005-000,
CITY OF WILMINGTON
NEW HANOVER COUNTY, NC

PROJECT STATUS

CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST:

DRAWING INFORMATION

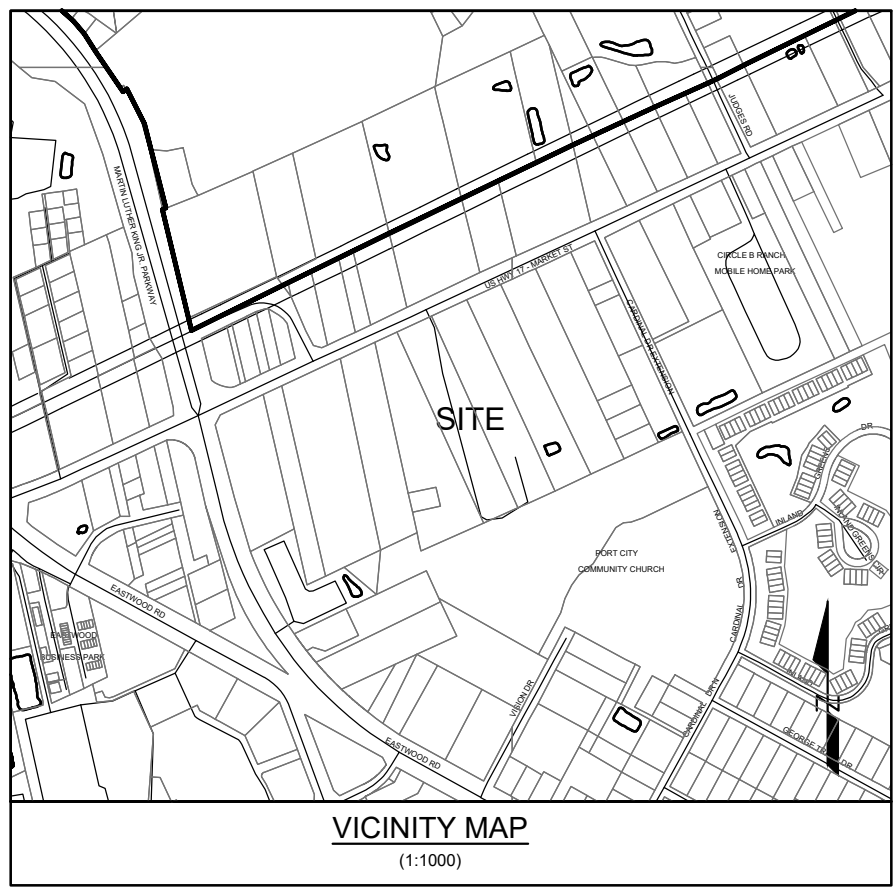
DATE: 12/19/2018
DESIGNED: CJS
CHECKED: CJS

SEAL

PRELIMINARY DRAWING
DO NOT USE FOR
CONSTRUCTION,
REGISTRATION,
CONVEYANCES, OR
SALES.

SV-1

PEI JOB#: 18458.PE



- DEMOLITION LEGEND:**
- EXISTING BUILDING, SHED AND/OR MOBILE HOME TO BE DEMOLISHED, REMOVED OR RELOCATED - SEE PLAN FOR QUANTITY
 - EXISTING GRAVEL SURFACE TO BE REMOVED
 - EXISTING ASPHALT SURFACE TO BE REMOVED
 - EXISTING CONCRETE SURFACE TO BE REMOVED
 - EXISTING TREE TO BE REMOVED, SEE TREE REMOVAL PLAN

EXISTING FENCE WITHIN PROJECT BOUNDARY TO BE REMOVED (TYP)

PAR/R05009-004-034-000
STANLEY PEARSON ALEXANDER JR HEIRS
DB 5905, PG 2214
ZONED-RB-REGIONAL BUSINESS
USE: COMMERCIAL

PAR/R05009-004-026-000
MATTHEW STEVEN H DALE S
DB 5905, PG 168
ZONED-RB-REGIONAL BUSINESS
USE: COMMERCIAL

U.S. HIGHWAY 17 N.
100' R/W (PUBLIC)

- LEGEND:**
- IRON PIPE FOUND
 - IRON ROD FOUND
 - IRON ROD SET
 - PK NAIL FOUND
 - PK NAIL SET
 - CONCRETE MONUMENT FOUND
 - LIGHT POLE
 - UTILITY POLE
 - GUY ANCHOR
 - TRANSFORMER
 - TELEPHONE RISER
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT
 - CLEAN-OUT
 - SANITARY SEWER MANHOLE
 - STORM DRAINAGE MANHOLE
 - WELL
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 - CATCH BASIN
 - GAS METER
 - MAILBOX
 - TREES

- CHAINLINK FENCE
- EXISTING CONTOUR
- RIGHT OF WAY/BOUNDARY

OWNER INFORMATION
PIN: R05009-005-006-000, R05009-005-005-000,
R05009-005-003-000, R05009-005-002-000
5720-5744 MARKET STREET
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DEED BOOK 1139, PAGE 1804
DEED BOOK 1185, PAGE 1272
DEED BOOK 3343, PAGE 179
DEED BOOK 4799, PAGE 322
MAP BOOK 56, PAGE 160
MAP BOOK 53, PAGE 295

LOT AREA = 437,124 SQ.FT. ± 10.035 ACRES ±

EXISTING TRANSFORMER WITHIN PROJECT BOUNDARY TO BE REMOVED & RELOCATED (TYP)

EXISTING PERVIOUS SURFACE (TYP)

EXISTING TREE TO BE REMOVED FOR PROPOSED SITE IMPROVEMENTS

EXISTING WETLANDS TO REMAIN AND PROTECT IN PLACE

EXISTING POWER POLE AND OVERHEAD ELECTRIC WITHIN PROJECT BOUNDARY TO BE REMOVED & RELOCATED (TYP)

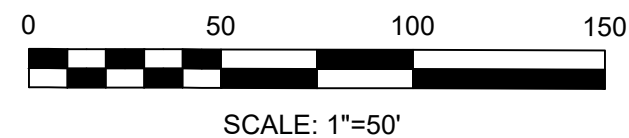
PROPOSED PROPERTY LINE PER RECOMBINATION MAP (SEE ATTACHED)

EXISTING PROPERTY LINE TO BE ABANDONED PER RECOMBINATION MAP (SEE ATTACHED)

EXISTING BUILDING OR TRAILER TO REMAIN AND PROTECT IN PLACE

EXISTING ASPHALT DRIVEWAY TO REMAIN AND PROTECT IN PLACE

EXISTING PROPERTY LINE TO BE ABANDONED PER RECOMBINATION MAP (SEE ATTACHED)



SCALE: 1"=50'

REVISIONS:

CLIENT INFORMATION:

CROSSROADS INFINITI
1101 BUCK JONES RD.
RALEIGH, NC 27606

PARAMOUNT
ENGINEERING, INC.

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)

DEMOLITION PLAN

PROJECT STATUS

CONCEPTUAL LAYOUT:
PRELIMINARY LAYOUT:
RELEASED FOR CONST:

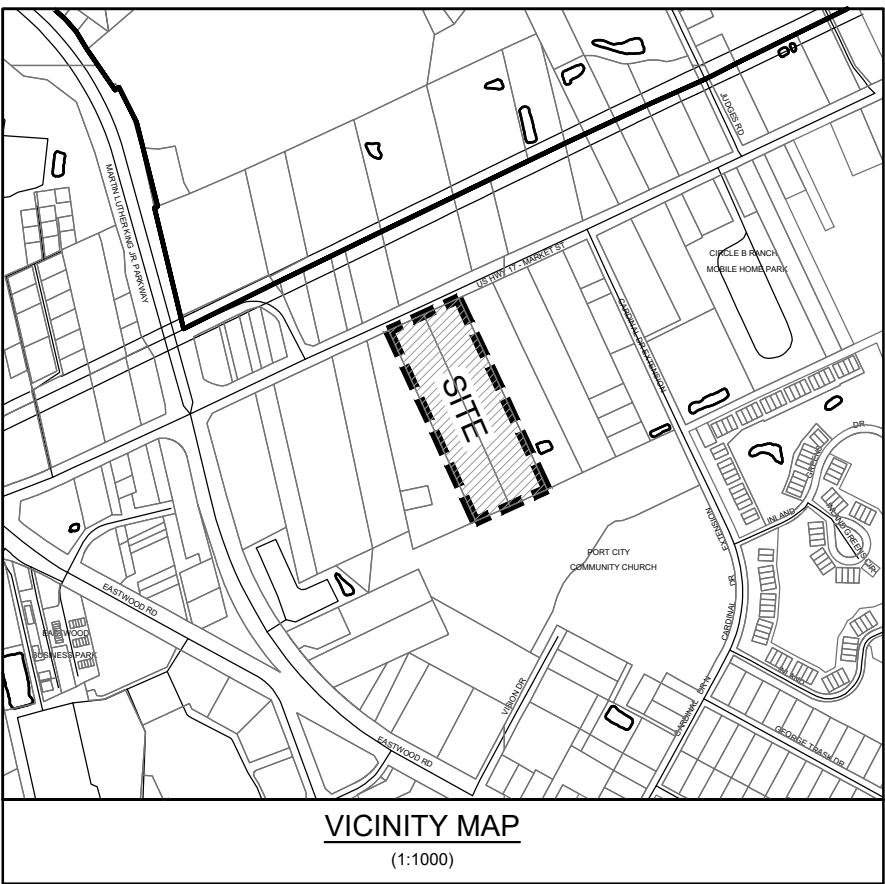
DRAWING INFORMATION

DATE: 12/06/2018
DESIGNED: JTB
CHECKED: JTB

SEAL

C-1.0

PEI JOB#: 18458.PE



SITE INFORMATION

OWNER INFORMATION:

BRINKLEY, ESTON B KATIE
WILMINGTON, NC

PROJECT ADDRESSES:

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

TAX PARCEL IDENTIFICATION #:

R05009-005-005-000 & R05009-005-003-000

RECORDED DEED BOOK:

DB 1185, PG 1272 (TRACT 1 & TRACT 2)

CURRENT ZONING:

RB - REGIONAL BUSINESS (BOTH PARCELS)

EXISTING USE:

COMMERCIAL & RESIDENTIAL (BOTH PARCELS)

PROPOSED USE:

AUTOMOBILE SALES / SERVICE

WITH EXISTING RESIDENTIAL TO REMAIN

AT REAR OF PROPERTY (SEE PLAN)

TOTAL SITE AREA (EXISTING 2 PARCELS):

5730 MARKET STREET (TRACT 2)

5.0 +/- ACRES (217,800 +/- SF)

TOTAL SITE AREA

5740 MARKET STREET (TRACT 1)

5.03 +/- ACRES (219,107 +/- SF)

10.03 +/- TOTAL ACRES FOR BOTH EXISTING PARCELS

TOTAL SITE AREA

(AFTER RECOMBINATION INTO 1 PARCEL):

7.8 +/- ACRES (341,637 +/- SF)

PROPOSED PROJECT AREA:

5.0 +/- ACRES (217,800 +/- SF)

PROPERTY AREA TO REMAIN AS RESIDENTIAL:

2.8 +/- ACRES (341,437 +/- SF)

(NO PROPOSED IMPROVEMENTS)

7.8 +/- ACRES (341,637 +/- SF)

FLOOD INFORMATION:

BOTH PARCELS ARE LOCATED IN

FLOOD ZONE X, WHICH IS NOT A SPECIAL

FLOOD HAZARD AREA AS DETERMINED

BY FEMA FLOOD PANEL 3148, MAP NUMBER

3720314800K, DATED AUGUST 28, 2018

FEMA FLOODPLAIN NOTE:

NO 100-YEAR FLOODPLAIN EXISTS ON SITES

CONSERVATION DISTRICT:

URBAN

SPECIAL OR OVERLAY DISTRICT NOTE:

NO CONSERVATION RESOURCES EXIST ON SITES

NO SPECIAL OR OVERLAY DISTRICTS EXIST ON SITES

DIMENSIONAL REQUIREMENTS

RB - REGIONAL BUSINESS

MINIMUM LOT AREA:
1 ACRE
MINIMUM LOT WIDTH:
100'
MAXIMUM LOT COVERAGE:
40%
MINIMUM FRONT SETBACK:
25'
MINIMUM REAR SETBACK:
25'
MINIMUM INTERIOR SIDE SETBACK:
0'
MINIMUM CORNER LOT SIDE SETBACK:
25'
MAXIMUM BUILDING HEIGHT:
35'

MINIMUM REQUIREMENTS
1 ACRE
100'
40%
25'
25'
0'
25'
35'

SETBACKS PROVIDED
5 ACRES
308.08'
236'
125'
119'
N/A
25.3'

* WHERE ADJACENT RESIDENTIAL

IMPERVIOUS INFORMATION (PROJECT AREA)

EXISTING IMPERVIOUS AREA

EX. STRUCTURES (3 BUILDINGS, 9 TRAILERS, 5 SHEDS, 1 CARPORT) 13,315.18 SF
EX. ASPHALT PAVING 7,625.92 SF
EX. GRAVEL (VEHICULAR USE) 16,300.15 SF
EX. CONCRETE 1,064.52 SF
TOTAL EXISTING IMPERVIOUS WITHIN PROJECT AREA 38,305.77 SF
TOTAL EXISTING IMPERVIOUS AREA PERCENT: 17.88%

PROPOSED IMPERVIOUS AREA (POST DEVELOPMENT)

TOTAL BUILDING (1 BLDG. TOTAL) 13,797 SF
ON-SITE PAVING 102,332.22 SF
TOTAL PROPOSED IMP. AREA 116,129.22 SF

TOTAL PROPOSED IMPERVIOUS PERCENT (POST DEVELOPMENT):

TOTAL IMPERVIOUS (116,129.22) X 100 / TOTAL PROJECT AREA (217,800) = 46.98%

BUILDING INFORMATION

ALL EXISTING STRUCTURES WITHIN THE PROPOSED PROJECT ARE SHALL BE REMOVED AND / OR RELOCATED PRIOR TO COMMENCING CONSTRUCTION OF PROPOSED IMPROVEMENTS

PROPOSED BUILDING

CONSTRUCTION TYPE TYPE IIB CONSTRUCTION
NUMBER OF PROPOSED BUILDINGS 1 BUILDINGS
TOTAL PROPOSED BUILDING SF 13,797 SF (GFA) - ALL FIRST FLOOR
NUMBER OF STORIES 1 STORY
BUILDING HEIGHT: 25'-4"
BUILDING LOT COVERAGE CALCULATIONS:
PROJECT AREA: 5.0 +/- ACRES (13,797 GFA X 100 / 217,800 SF) = 6.33%

LANDSCAPE CALCULATIONS

SEE LANDSCAPE PLAN, SHEET L-1.0 FOR CALCULATIONS

EXTERIOR LIGHTING

EXTERIOR LIGHTING SHALL BE INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO ADJACENT RESIDENTIAL PARCELS.

LIGHTING PLANS TO BE PREPARED AND PROVIDED BY

DUKE ENERGY PRIOR TO FINAL PROJECT ACCEPTANCE.

CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO

DISCUSS STREET LIGHTING OPTIONS.

WATER AND SEWER DEMANDS

WATER: 0 GPD (CURRENT USE)
WATER: 750 GPD (PROPOSED USE)

SEWER: 0 GPD (CURRENT USE)

SEWER: 750 GPD (PROPOSED USE)

PROPOSED BUILDING - NON RESIDENTIAL

THERE ARE NO PROPOSED RESIDENTIAL UNITS AS PART OF THIS PROJECT.

OPEN SPACE / RECREATIONAL AREA

THERE ARE NO PROPOSED OPEN SPACES OR RECREATIONAL AREAS AS PART OF THIS PROJECT.

SITE PARKING

MINIMUM PARKING REQUIRED: 28
(1 PER 500 SF GFA AUTOMOBILE AND TRUCK DEALERS)

MAXIMUM PARKING ALLOWABLE (150% MINIMUM PARKING): 41 MAX.

TOTAL REQUIRED PARKING PROVIDED (PUBLIC / CUSTOMER PARKING): 31 SPACES

HANDICAP PARKING REQUIRED: 2 SPACES (BASED ON 28 REQUIRED PARKING)
HANDICAP PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 5 (BASED ON 28 REQUIRED PARKING)
BICYCLE PARKING PROVIDED: 5

VEHICLE DEALERSHIP INVENTORY PARKING SPACES ARE FOR INVENTORY/STORAGE OR "DISPLAY" PURPOSES (NOT PUBLIC PARKING): 185 SPACES

TOTAL ON SITE PARKING : 216 SPACES
(PUBLIC / CUSTOMER PARKING & INVENTORY PARKING)

OFF-STREET LOADING

ONE (1) OFF-STREET LOADING SPACE IS PROVIDED, 12' MINIMUM WIDTH PER CODE X 105' LONG. SPACE IS LOCATED ON THE NORTH SIDE OF THE PROPOSED BUILDING AND IS PROVIDED WITH UNOBSTRUCTED INGRESS AND EGRESS TO A PUBLIC OR PRIVATE STREET.

THE OFF-STREET PARKING SPACE DOES NOT INTERFERE WITH ON SITE PARKING OR EMERGENCY ACCESS CIRCULATION, AND DOES NOT COUNT TOWARD THE NUMBER OF PARKING SPACES REQUIRED.

A MINIMUM VERTICAL CLEARANCE OF FIFTEEN (15') FEET SHALL BE PROVIDED FOR THE OFF-STREET LOADING SPACE.

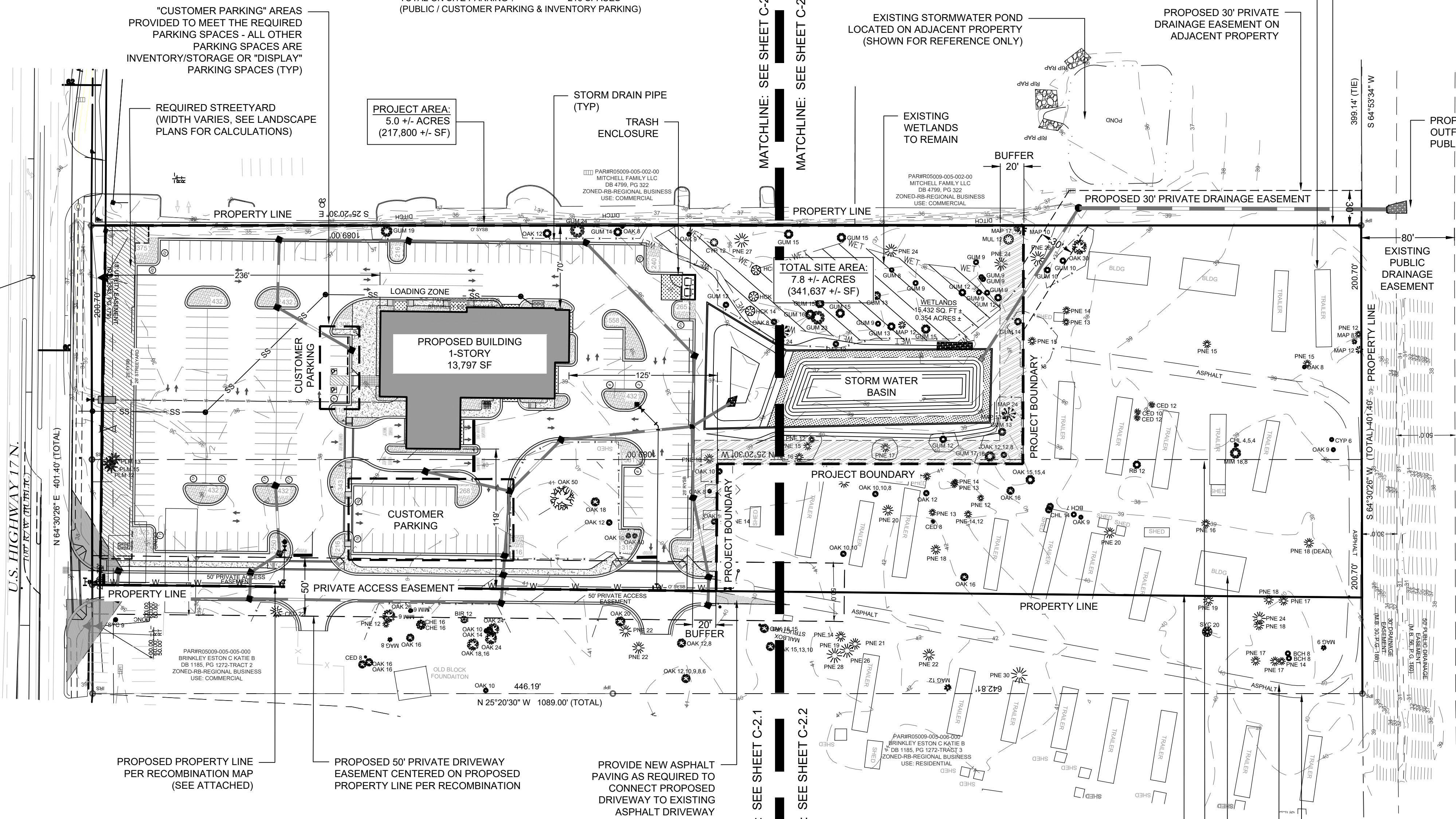
PROPERTY AREA TO REMAIN AS RESIDENTIAL USE (NO PROPOSED IMPROVEMENTS): 2.8 +/- ACRES (123,637 +/- SF)

EXISTING BUILDING OR TRAILER TO REMAIN AND PROTECT IN PLACE

PROPOSED 30' PRIVATE DRAINAGE EASEMENT ON ADJACENT PROPERTY

EXISTING STORMWATER POND LOCATED ON ADJACENT PROPERTY (SHOWN FOR REFERENCE ONLY)

PROPOSED STORMWATER OUTFALL AT EXISTING 80' PUBLIC DRAINAGE EASEMENT



MATCHLINE: SEE SHEET C-2.1

MATCHLINE: SEE SHEET C-2.2

MATCHLINE: SEE SHEET C-2.1

MATCHLINE: SEE SHEET C-2.2

GENERAL NOTES:

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT (910) 341-5899 FOR MORE DETAILS.
- CONTACT 811 REGARDING UTILITIES AND PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY, BEFORE CONTACTING CITY OF WILMINGTON TRAFFIC ENGINEERING AT (910) 341-7888.

FIRE & LIFE SAFETY NOTES:

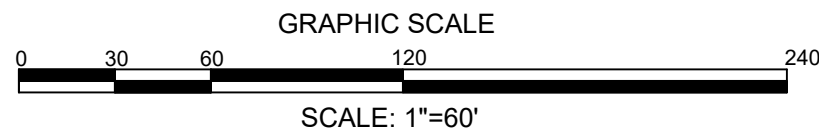
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE
- HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
- FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
- ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date:	Permit #
Signed: _____	



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS

12/16/2019

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

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1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

1" = 30'

PEI JOB#: 18458.PE

C-2.0

OVERALL SITE PLAN

CROSSROADS INFINITY

MARKET STREET

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

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WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

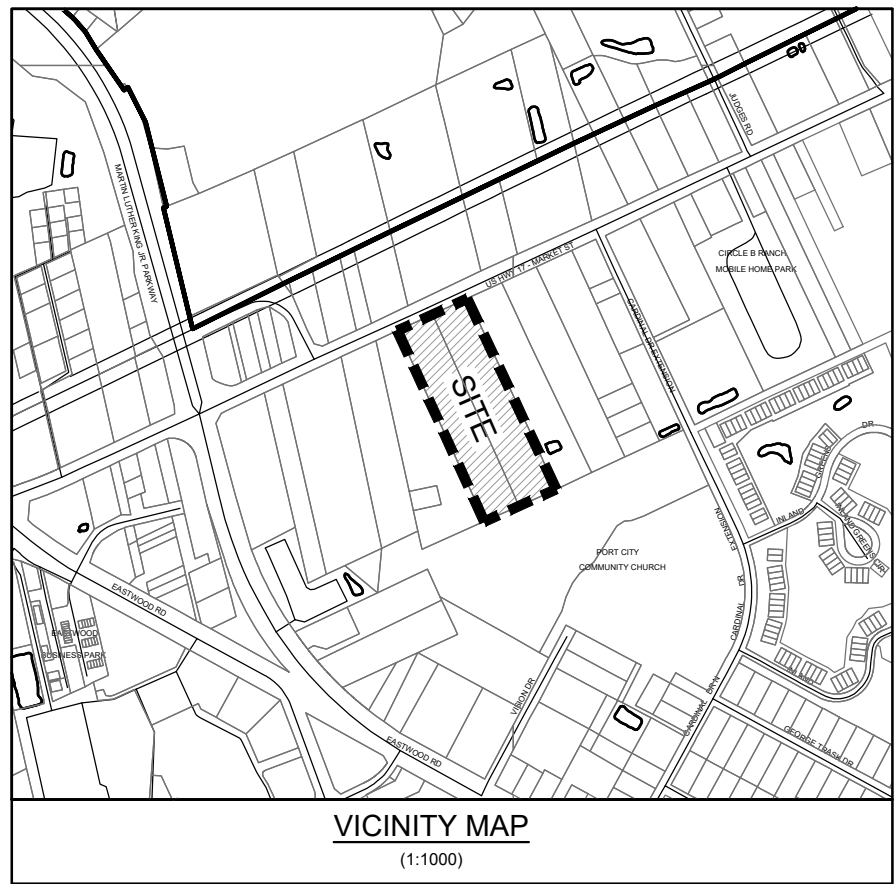
WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA

WILMINGTON, NORTH CAROLINA



PROJECT BOUNDARY NOTE:
THE PROJECT BOUNDARY IS DIFFERENT THAN THE PROJECT PROPERTY LINE. REFER TO OVERALL SITE PLAN, SHEET C-2.0 FOR CLARIFICATION.

SITE INFORMATION
OWNER INFORMATION:
(ALL PARCELS PER NHC GIS)

PROJECT ADDRESSES:

TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:

BRINKLEY, ESTON B KATIE
WILMINGTON, NC

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

R05009-005-007-000 & R05009-005-003-000
BK 334 PG 179 & BK 334 PG 179
RB - REGIONAL BUSINESS (BOTH PARCELS)
COMMERCIAL (BOTH PARCELS)
AUTOMOBILE SALES / SERVICE

FUTURE SIDEWALK IN NC DOT R.O.W.
(DASHED LINE TYPE)
(PUBLIC IMPROVEMENT)

CITY OF WILMINGTON NOTE:
WHEN THE USE OF ANY DRIVEWAY HAS BEEN PERMANENTLY DISCONTINUED, REPLACE ALL NECESSARY CURBS, GUTTERS, APRONS, SIDEWALKS, AND APPURTENANCES THERETO (SEC. 18-530 COW LDC).

NC DOT NOTE:
PER AGREEMENT BETWEEN OWNER/APPLICANT AND NC D.O.T., THE SOUTHBOUND LEFT TURN LANE PROPOSED BY NC DOT IMPROVEMENT PROJECT WILL BE MOVED AND ADJUSTED TO COORDINATE WITH PROPOSED PRIVATE DRIVEWAY ACCESS EASEMENT PROPOSED BY THIS PROJECT

20'x70' SITE TRIANGLE
(TYP., BOTH SIDES
OF DRIVEWAY)

FUTURE SIDEWALK AND
ADA RAMP BY OTHERS
(NC DOT PROJECT), SHOWN
FOR REFERENCE ONLY

LEGEND:

PROPOSED TREE PROTECTION FENCE
(SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER
(SEE LANDSCAPE PLAN, SHT. L-2.0)

PROPOSED REAR YARD
LANDSCAPE BUFFER
(SEE PLAN FOR DIMENSIONS)

LANDSCAPE CALCULATIONS
SEE LANDSCAPE PLAN, SHEET L-1.0 FOR CALCULATIONS

SF OF PLANTER AREA (ISLANDS)
IN PARKING FACILITY
(SEE PLAN FOR DIMENSIONS)

PROPOSED CONCRETE
(SEE PLAN FOR DIMENSIONS)

EXISTING TREES TO REMAIN
(SYMBOLS VARY BY SPECIES,
SEE TREE REMOVAL & PROTECTION
PLAN, SHEET L-1.0)

LEGEND:

1 STANDARD 24" CURB & GUTTER:
REFER TO DETAIL

2 STRIPING:
PROVIDE 4" WIDE PARKING LOT
STRIPING AS SHOWN. USE HIGHWAY
MARKING PAINT - WHITE (2 COATS)

3 ASPHALT PAVING:
REFER TO DETAIL

4 WHEEL STOP:

5 ADA ACCESSIBLE PARKING SPACE:
(TYPICAL OF 2)

6 ADA PARKING SIGN:
CURB RAMP:
ADA COMPLIANT /
ACCESSIBLE RAMP

8 CROSSWALK:
ADA COMPLIANT

9 BICYCLE RACKS:
PARKING FOR 5 BIKES

10 DECORATIVE TILE PAVING:
AT BUILDING ENTRY (SEE
ARCH'S DRAWINGS)

11 PROJECT SIGNAGE:
UNDER SEPARATE PERMIT

12 TRASH ENCLOSURE:
SEE DETAILS

13 STORM DRAIN:
(PRIVATE) SEE
ENGINEERING DWGS.

14 SANITARY SEWER:
(PRIVATE) SEE
ENGINEERING DWGS.

15 WATER SERVICE:
(PRIVATE) SEE
ENGINEERING DWGS.

16 TREE PROTECTION FENCING:
SEE SHEET L-2.0

17 ADA TRUNCATED DOMES:
AT ZERO CURB CONDITION
(SEE DETAILS)

18 EXISTING SHED TO REMAIN:

19 EXISTING RESIDENTIAL TO
REMAIN:

20 EXISTING ASPHALT
DRIVEWAY TO REMAIN:

21 PROPOSED FIRE HYDRANT:

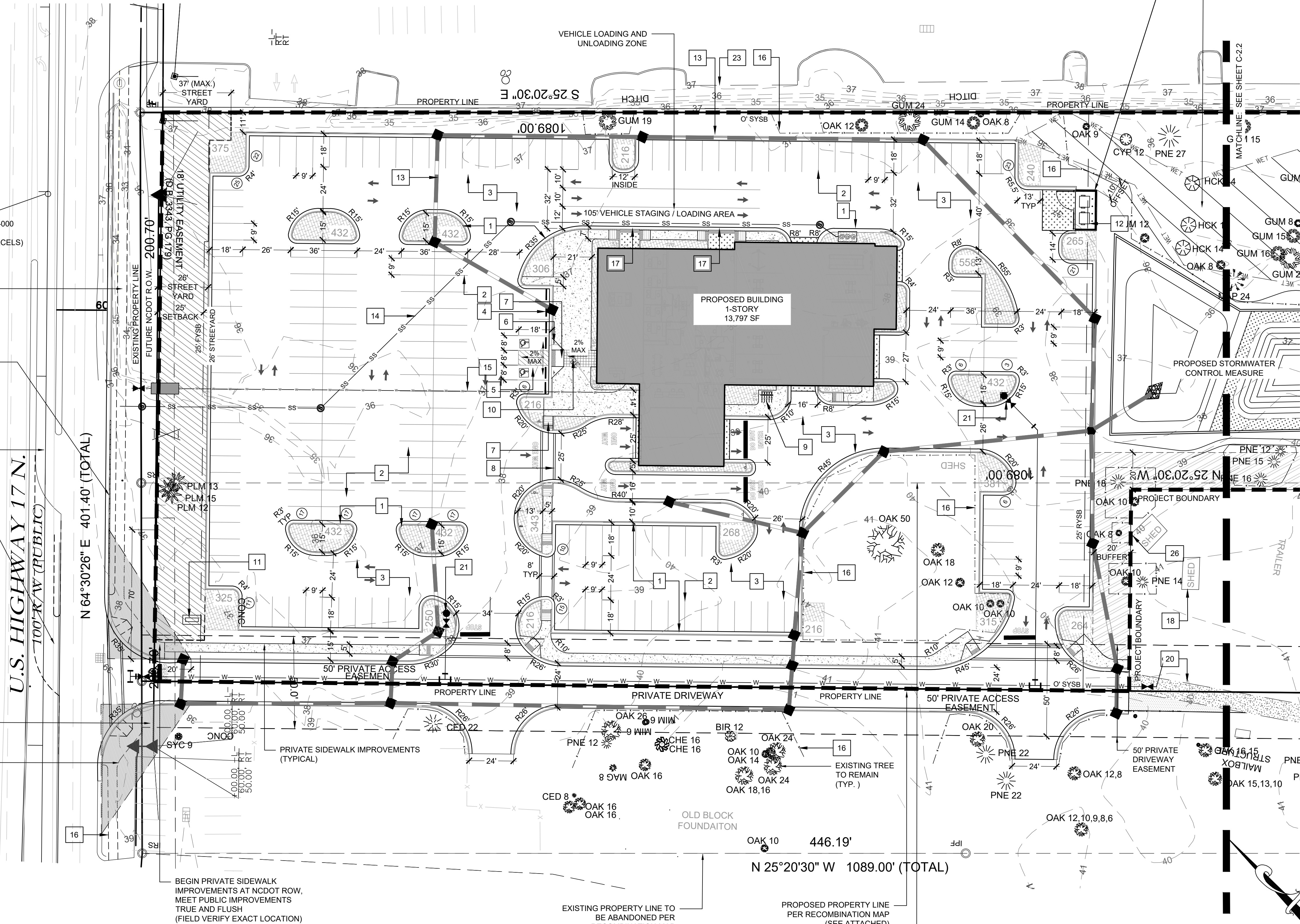
22 PARKING LOT LIGHTING:
FINAL DESIGN TO BE
PROVIDED BY DUKE ENERGY

23 EXISTING PARKING ON
ADJACENT PROPERTY:
TO REMAIN, SHOWN FOR
REFERENCE

24 SIDEWALK (PRIVATE
IMPROVEMENTS):
SHOWN FOR REFERENCE.
BY OTHERS
EXISTING SHED TO BE
RELOCATED:
SHED TO BE MOVED IF
LOCATED WITHIN REQUIRED
20' BUFFER, FIELD VERIFY

SOLID WASTE NOTE:
SOLID WASTE WILL BE HANDLED BY
DUMPSTER SERVICES. THE PROPOSED
CONCRETE DUMPSTER PAD WITH WILL
HAVE A COMBINATION OF SOLID WOOD
FENCING & VEGETATIVE SCREENING
TO 8' TALL AS REQUIRED PER SEC. 18-504
(SEE LANDSCAPE PLANS)

EXISTING WETLANDS
TO REMAIN

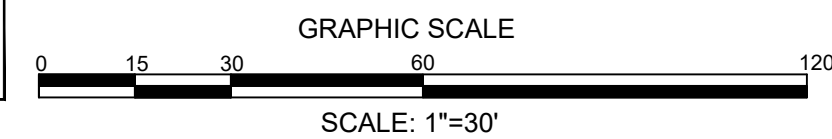


Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

NC DENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DVQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

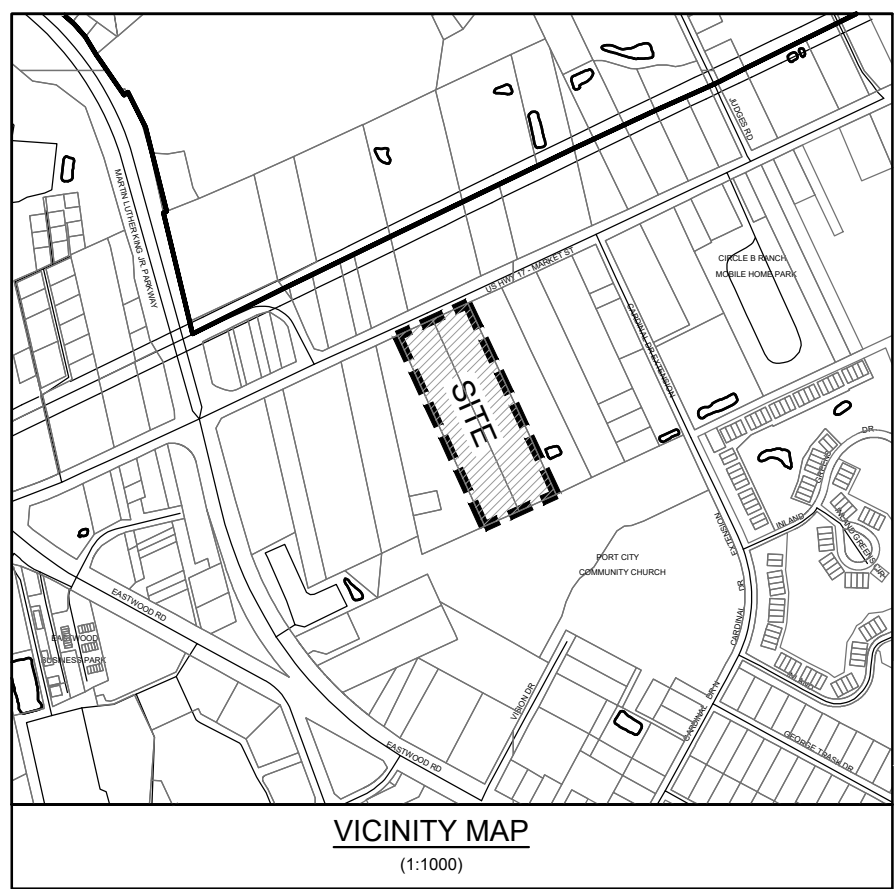
For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

CITY OF WILMINGTON NORTH CAROLINA Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date:	Permit #
Signed: _____	



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

REVISIONS:	
CLIENT INFORMATION:	
CROSSROADS HOLDINGS, LLC 1101 BUCK JONES RD. RALEIGH, NC 27606	
PARAMOUNT ENGINEERING, INC. 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License #: C-2846	
SITE PLAN CROSSROADS INFINITY MARKET STREET WILMINGTON, NORTH CAROLINA	
PROJECT STATUS: DATE: 12/18/2019 SCALE: 1"=30' DRAWN: [Signature] CHECKED: [Signature]	PEI JOB#: 18458.PE



PROJECT BOUNDARY NOTE:
THE PROJECT BOUNDARY IS DIFFERENT THAN THE
PROJECT PROPERTY LINE. REFER TO OVERALL SITE PLAN,
SHEET C-2.0 FOR CLARIFICATION.

SITE INFORMATION
OWNER INFORMATION:
(ALL PARCELS PER NHC GIS)

PROJECT ADDRESSES:

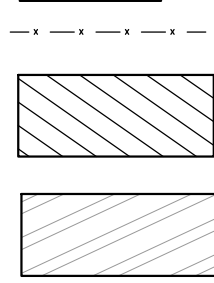
TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:

BRINKLEY, ESTON B KATIE
WILMINGTON, NC

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

R05009-005-007-000 & R05009-005-003-000
BK 334 PG 179 & BK 334 PG 179
RB - REGIONAL BUSINESS (BOTH PARCELS)
COMMERCIAL (BOTH PARCELS)
AUTOMOBILE SALES / SERVICE

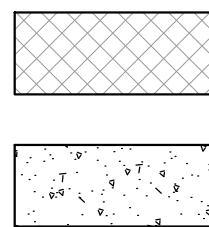
LEGEND:



PROPOSED TREE PROTECTION FENCE
(SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER
(SEE LANDSCAPE PLAN, SHT. L-2.0)

PROPOSED REAR YARD
LANDSCAPE BUFFER
(SEE PLAN FOR DIMENSIONS)



SF OF PLANTER AREA (ISLANDS)
IN PARKING FACILITY
(SEE PLAN FOR DIMENSIONS)

PROPOSED CONCRETE
(SEE PLAN FOR DIMENSIONS)

EXISTING TREES TO REMAIN
(SYMBOLS VARY BY SPECIES,
SEE TREE REMOVAL & PROTECTION
PLAN, SHEET L-1.0)

LEGEND:

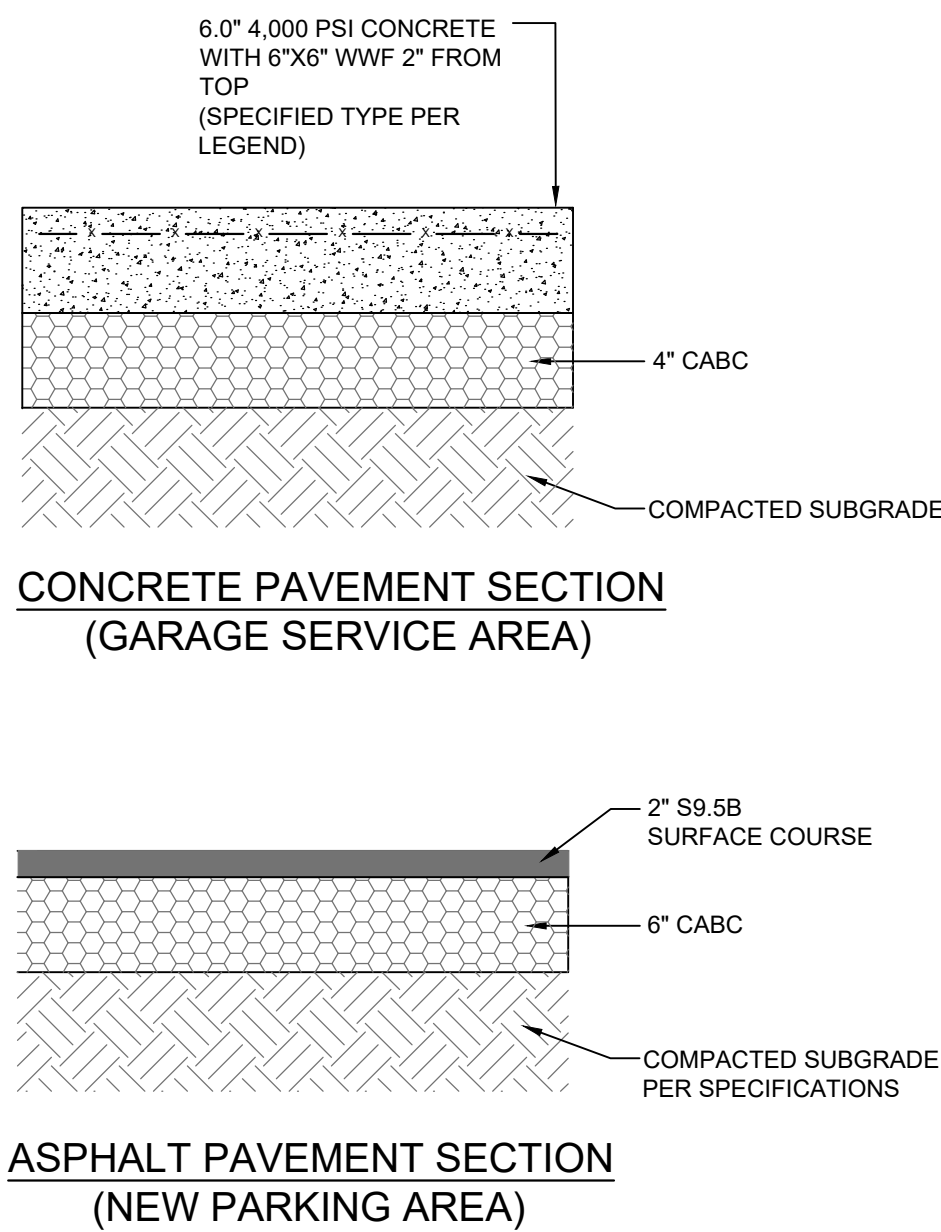
1 STANDARD 24" CURB & GUTTER:
REFER TO DETAIL
2 STRIPING:
PROVIDE 4" WIDE PARKING LOT
STRIPING AS SHOWN. USE HIGHWAY
MARKING PAINT - WHITE (2 COATS)
3 ASPHALT PAVING:
REFER TO DETAIL
4 WHEEL STOP:

5 ADA ACCESSIBLE PARKING SPACE:
(TYPICAL OF 2)
6 ADA PARKING SIGN:
CURB RAMP:
ADA COMPLIANT /
ACCESSIBLE RAMP
8 CROSSWALK:
ADA COMPLIANT
9 BICYCLE RACKS:
PARKING FOR 5 BIKES

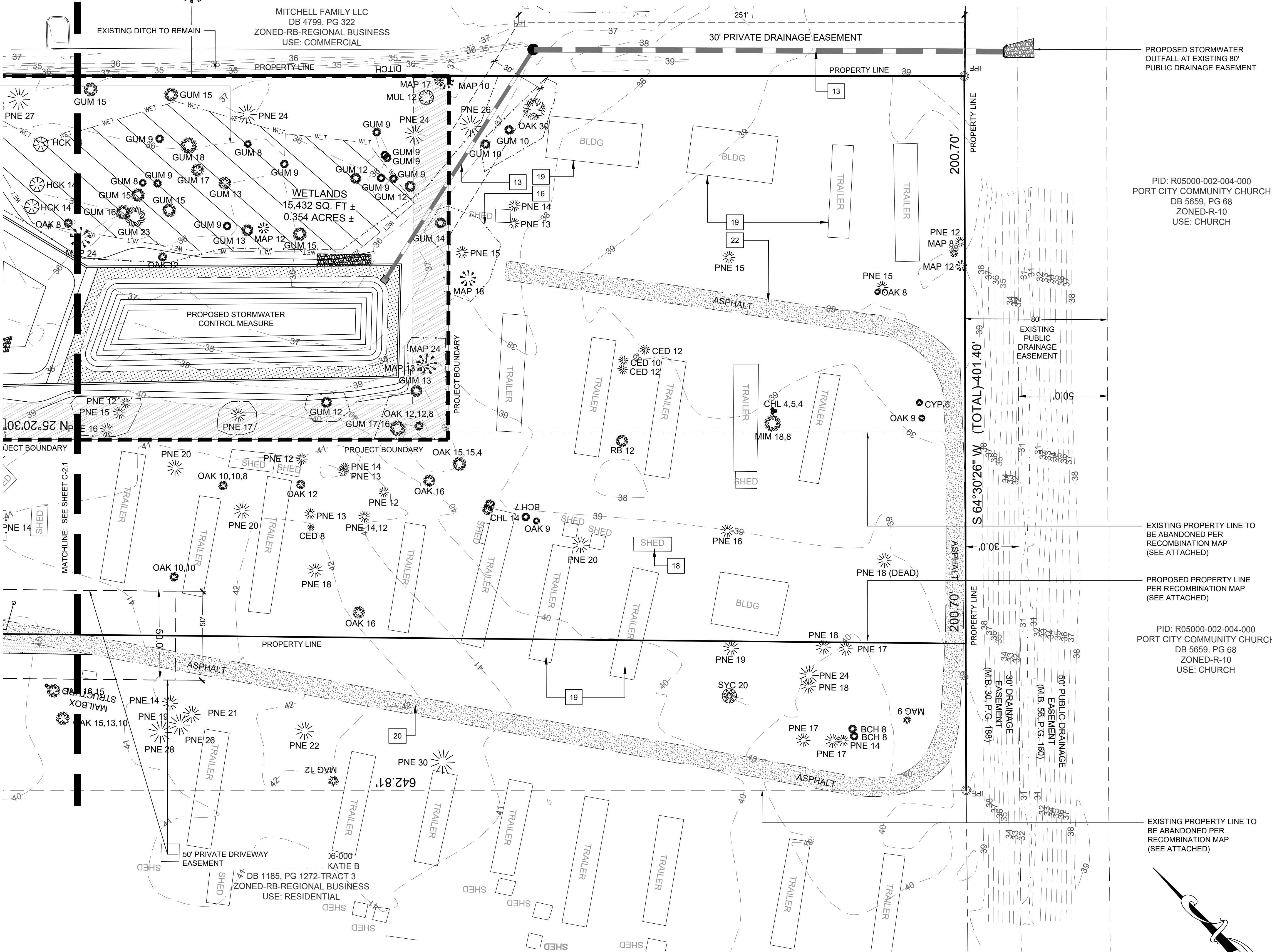
10 DECORATIVE TILE PAVING:
AT BUILDING ENTRY (SEE
ARCH'S DRAWINGS)
11 PROJECT SIGNAGE:
UNDER SEPARATE PERMIT
SEE DETAILS
12 TRASH ENCLOSURE:
SEE DETAILS
13 STORM DRAIN:
(PRIVATE) SEE
ENGINEERING DWGS.

14 SANITARY SEWER:
(PRIVATE) SEE
ENGINEERING DWGS.
15 WATER SERVICE:
(PRIVATE) SEE
ENGINEERING DWGS.
16 TREE PROTECTION FENCING:
SEE SHEET L-2.0
17 ADA TRUNCATED DOMES:
AT ZERO CURB CONDITION
(SEE DETAILS)

18 EXISTING SHED TO REMAIN:
(SEE ARCH'S DRAWINGS)
19 EXISTING RESIDENTIAL TO
REMAIN:
20 EXISTING ASPHALT
DRIVEWAY TO REMAIN:
21 PROPOSED FIRE HYDRANT:
22 PARKING LOT LIGHTING:
FINAL DESIGN TO BE
PROVIDED BY DUKE ENERGY



PROPOSED STREET & PAVING CROSS SECTIONS

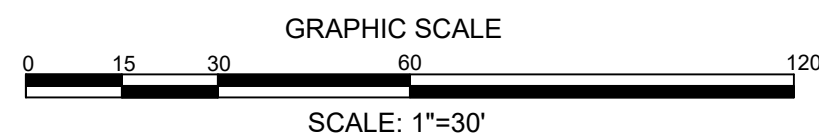


Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

CITY OF WILMINGTON Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date:	Permit #
Signed:	



REVISIONS:

CROSSROADS HOLDINGS, LLC
1101 BUCK JONES RD.
RALEIGH, NC 27606

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2846

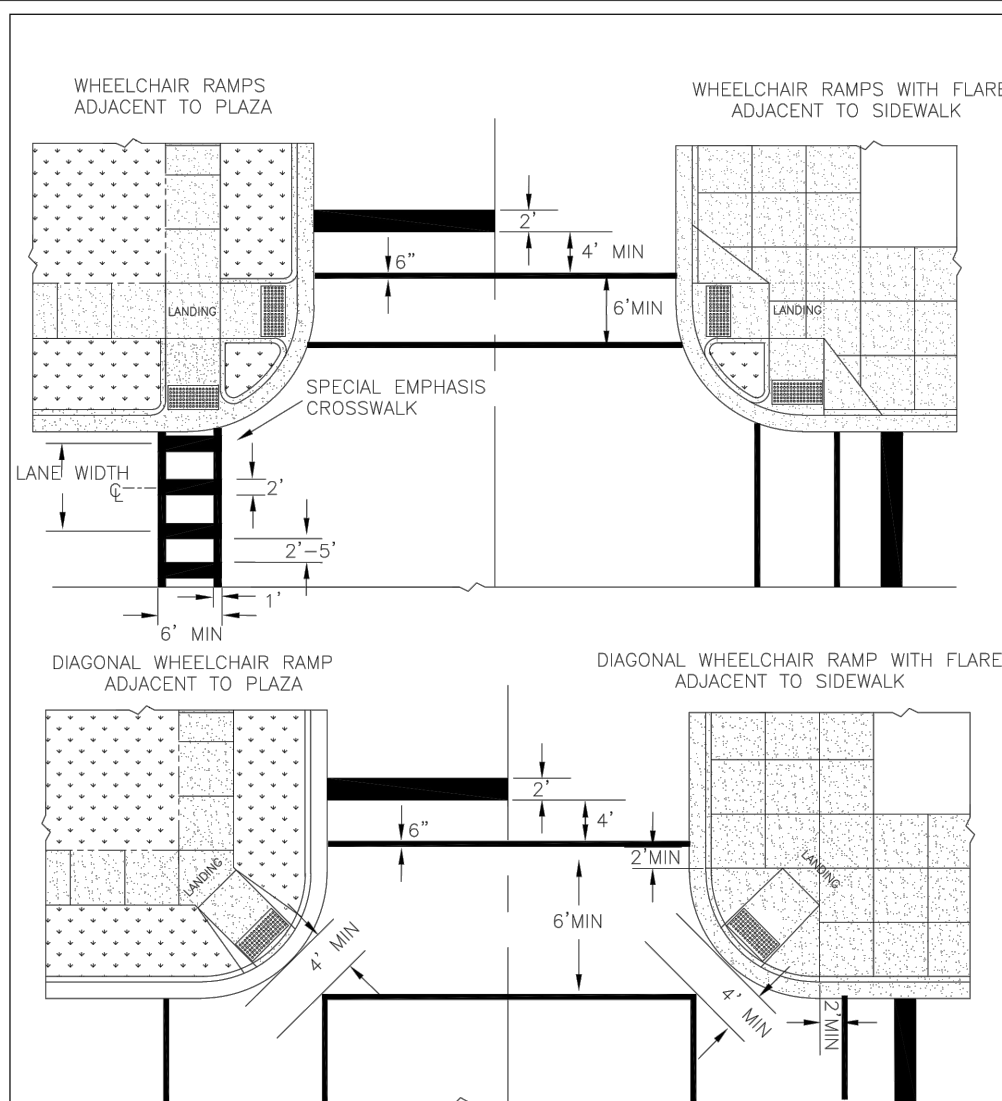
SITE PLAN
CROSSROADS INFINITY
MARKET STREET
WILMINGTON, NORTH CAROLINA

PROJECT STATUS	DATE
DESIGNED BY	12/18/2019
PRELIMINARY LAYOUT	11" x 30"
RELEASED FOR CONSTRUCTION	11" x 30"
DRAWING INFORMATION	DATE
DATE	12/18/2019
SCALE	1" = 30'
DRAWN	WNT
CHECKED	TC

SEAL

C-2.2

PEI JOB#: 18458.PE

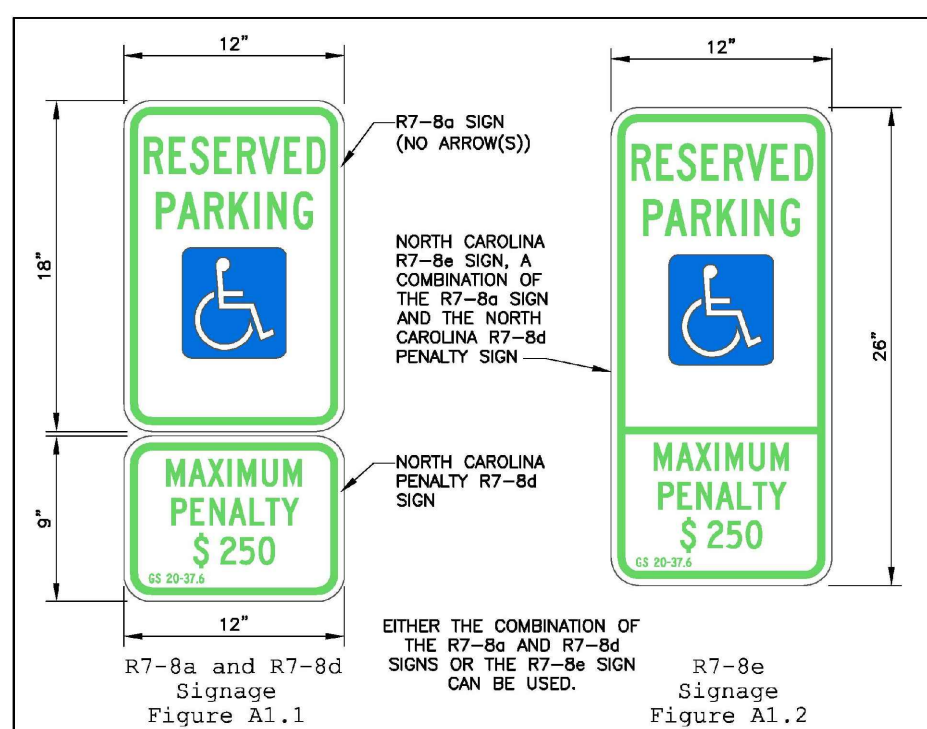


- NOTES:
1. RAMP AT MARKED CROSSINGS MUST BE WHOLLY CONTAINED WITHIN THE MARKINGS.
 2. RAMP AND LANDINGS MUST MEET CURRENT ACCESSIBILITY STANDARDS.

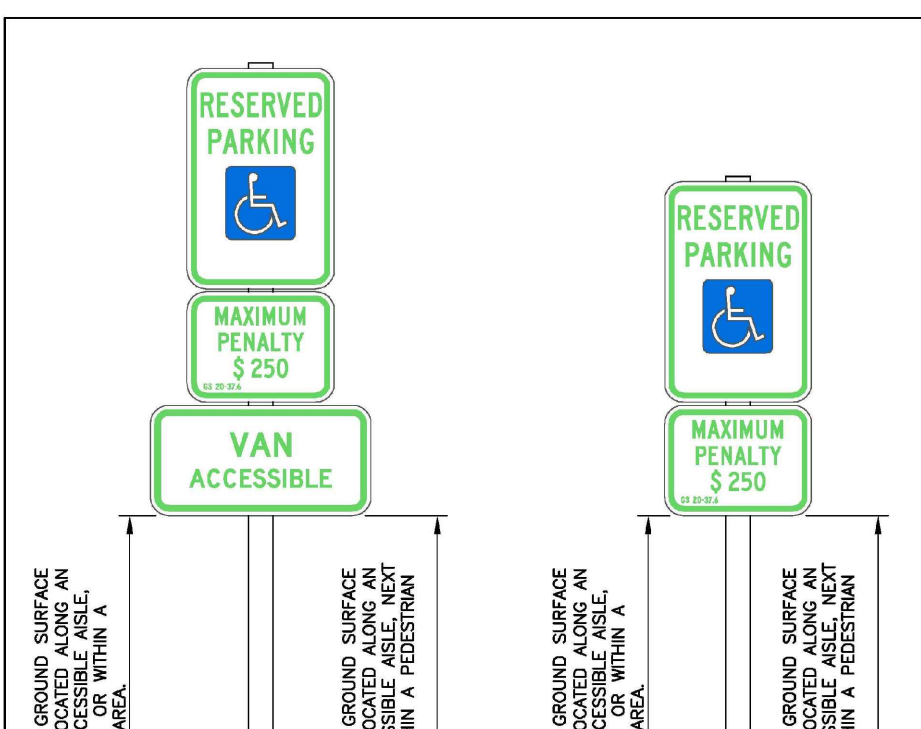
DATE: AUGUST, 2011		<p>CITY OF WILMINGTON NORTH CAROLINA PO BOX 1611 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN: JBSR		
CHECKED: DEC		
SCALE: NOT TO SCALE		

INTERSECTION LAYOUT

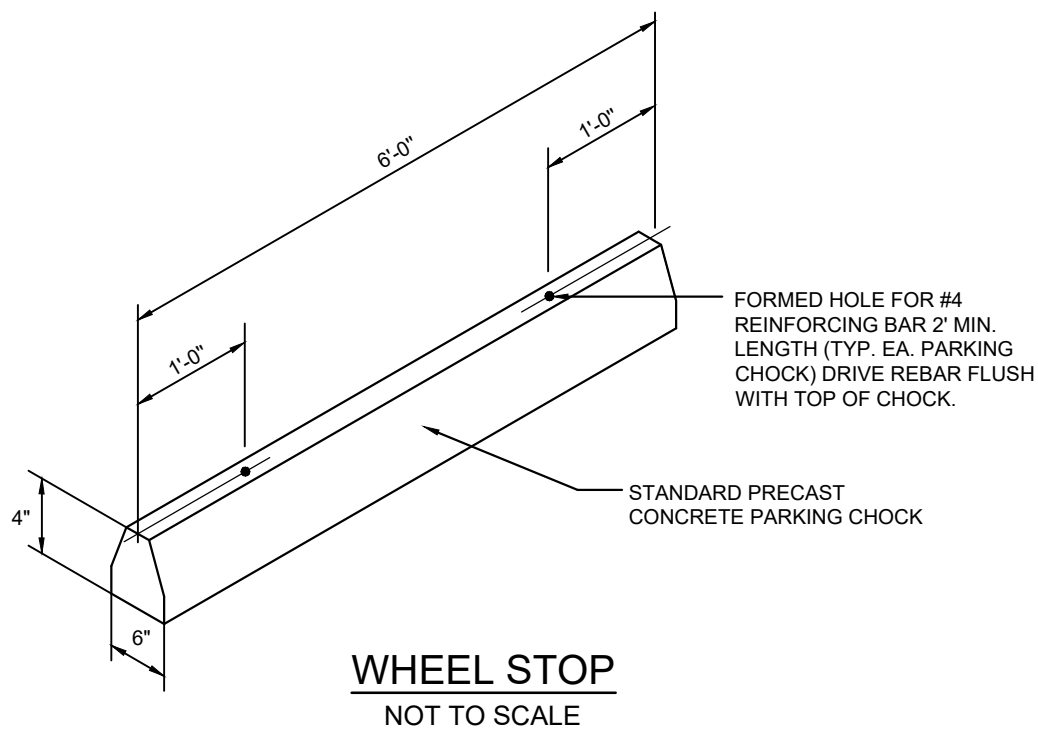
SD 3-09



DATE: NOVEMBER 8, 2016		<p>CITY OF WILMINGTON NORTH CAROLINA PO BOX 1611 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN: JBSR		
CHECKED: DEC		
SCALE: NOT TO SCALE		

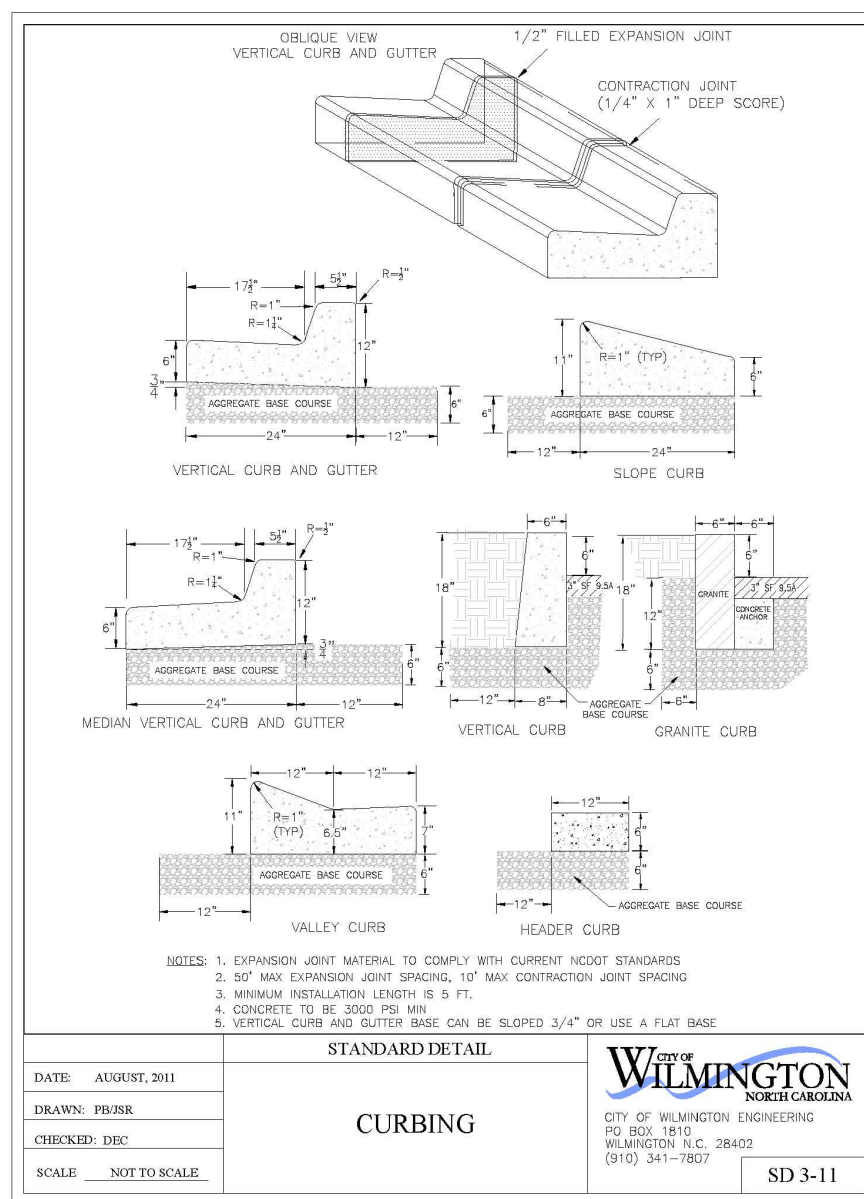


DATE: NOVEMBER 8, 2016		<p>CITY OF WILMINGTON NORTH CAROLINA PO BOX 1611 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN: JBSR		
CHECKED: DEC		
SCALE: NOT TO SCALE		



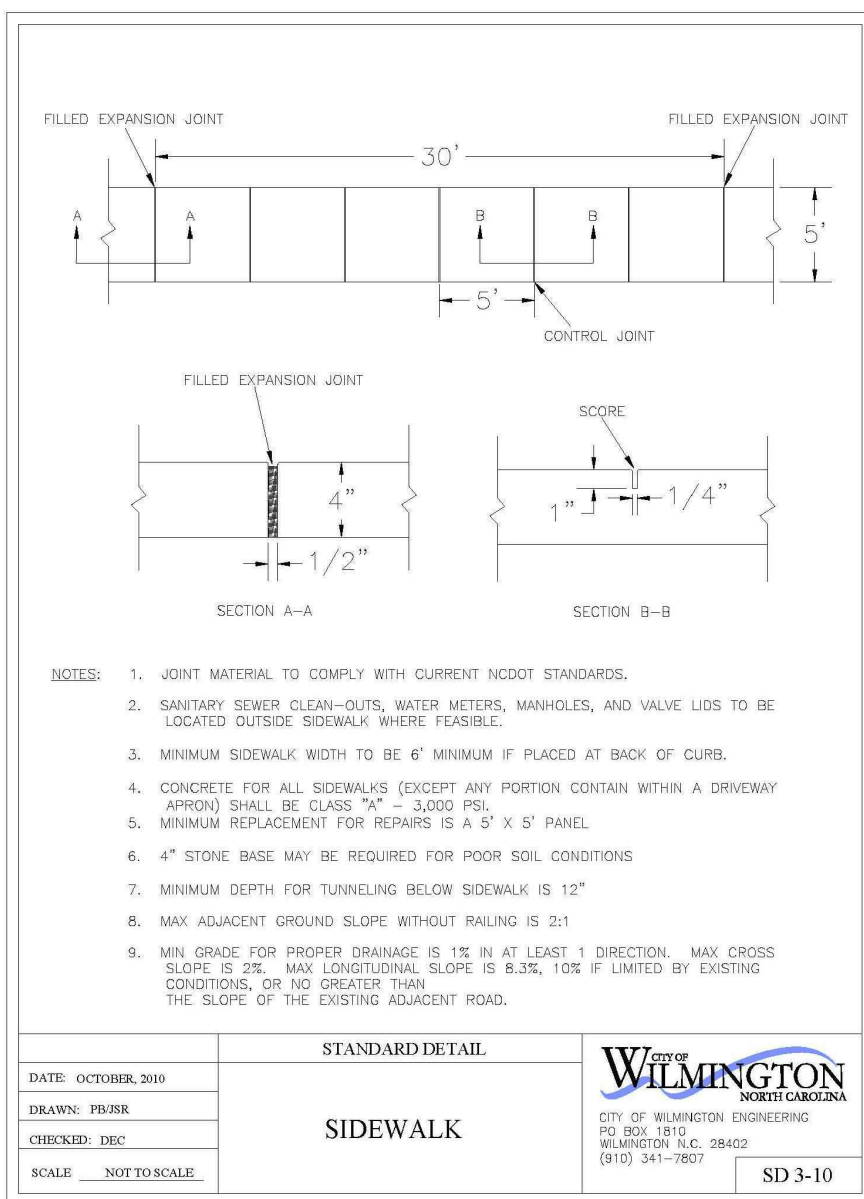
WHEEL STOP

NOT TO SCALE



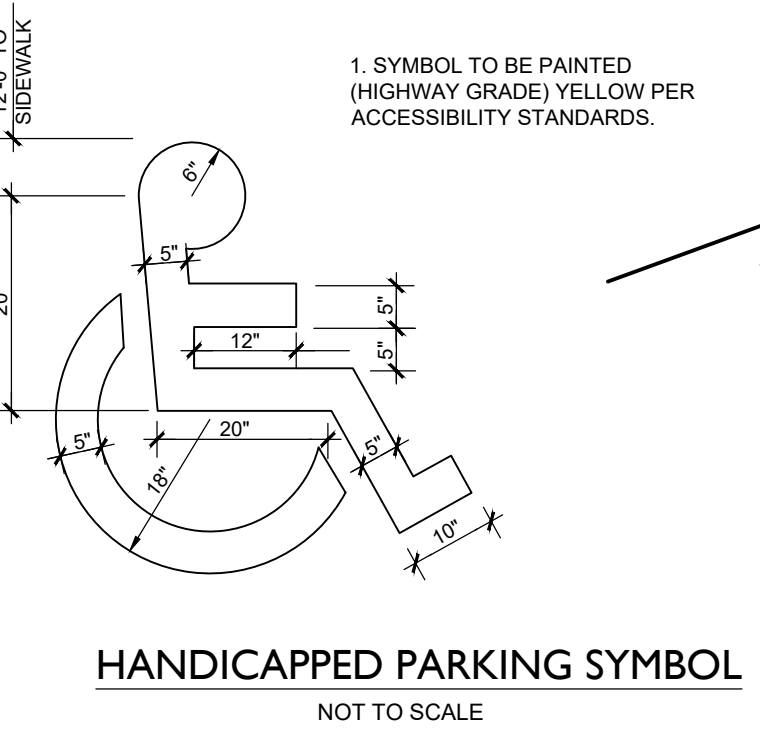
CURBING

DATE: AUGUST, 2011		<p>CITY OF WILMINGTON NORTH CAROLINA PO BOX 1611 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN: JBSR		
CHECKED: DEC		
SCALE: NOT TO SCALE		



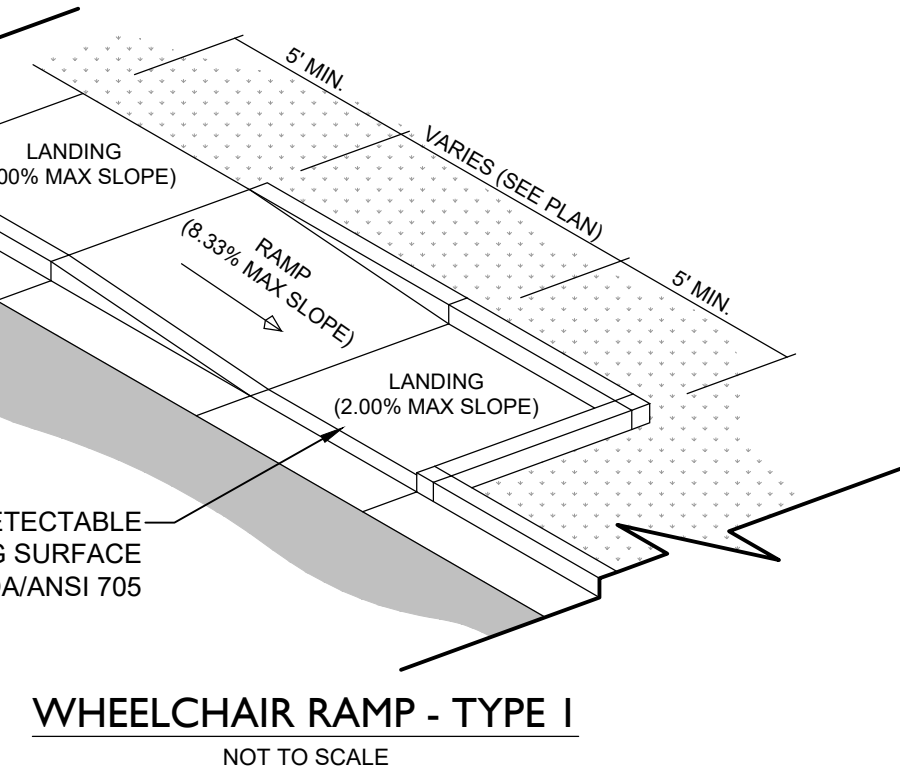
SIDEWALK

DATE: OCTOBER, 2010		<p>CITY OF WILMINGTON NORTH CAROLINA PO BOX 1611 WILMINGTON, NC 28402 (910) 341-7807</p>
DRAWN: JBSR		
CHECKED: DEC		
SCALE: NOT TO SCALE		



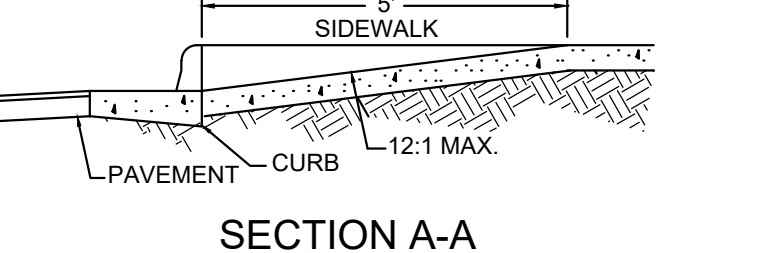
HANDICAPPED PARKING SYMBOL

NOT TO SCALE

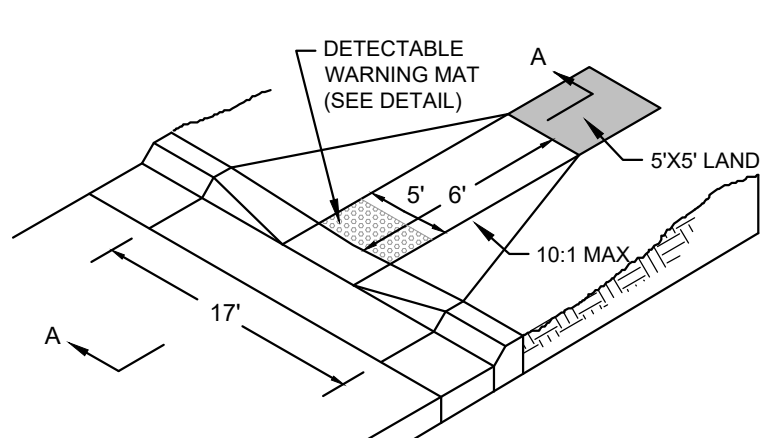


WHEELCHAIR RAMP - TYPE I

NOT TO SCALE

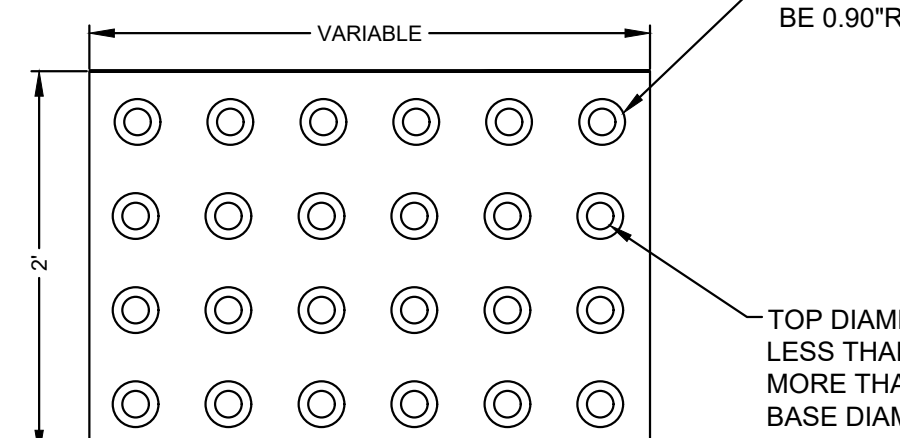


SECTION A-A



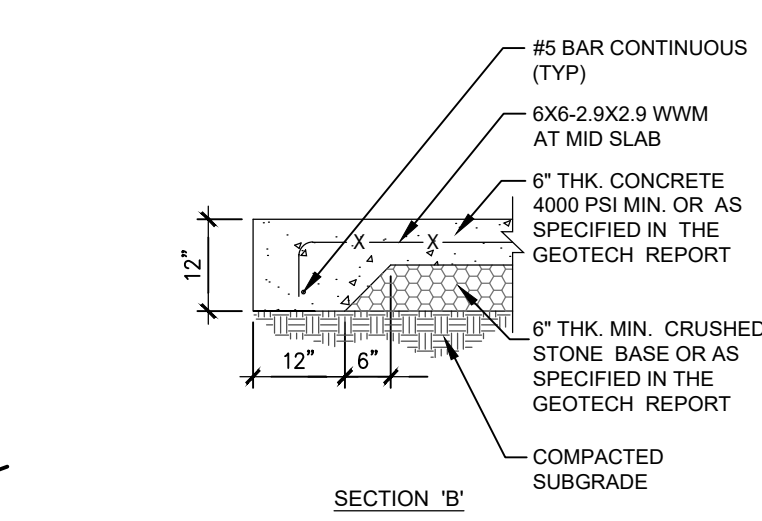
TYPE 2 - WHEELCHAIR RAMP (DROP CURB)

NOT TO SCALE

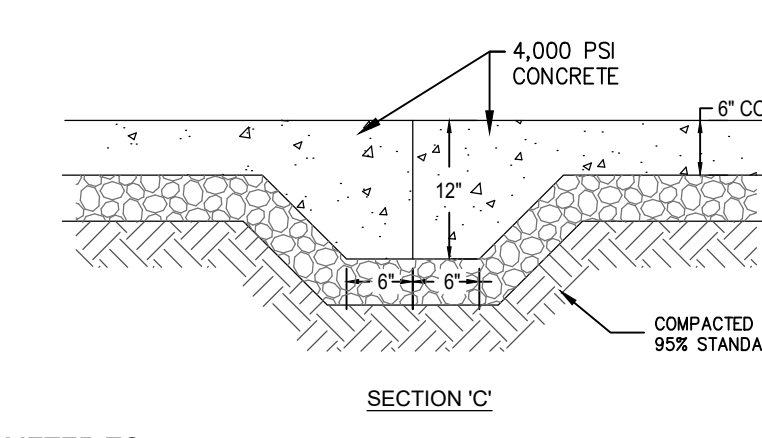


DETECTABLE WARNING MAT

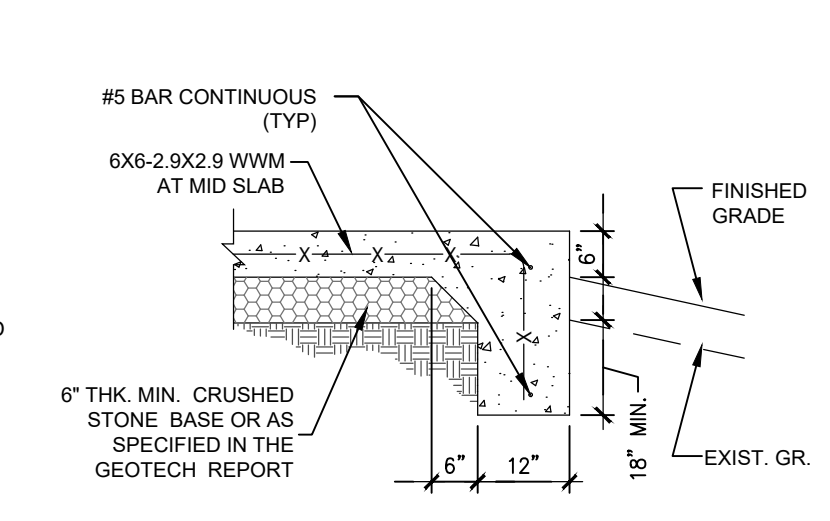
NOT TO SCALE



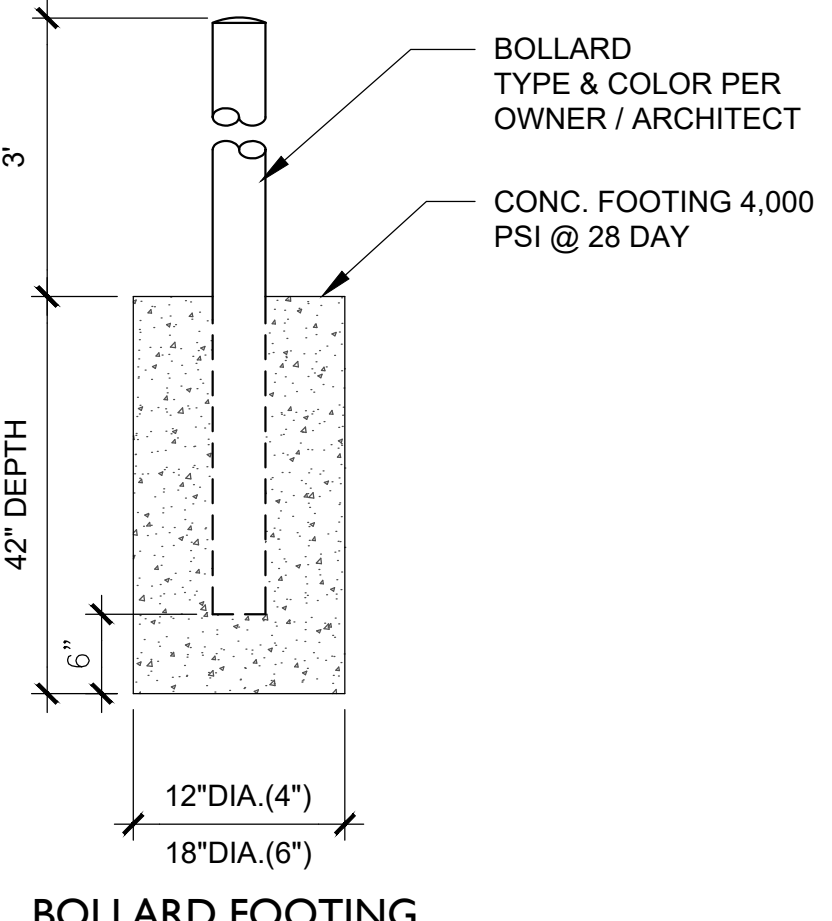
SECTION B-B



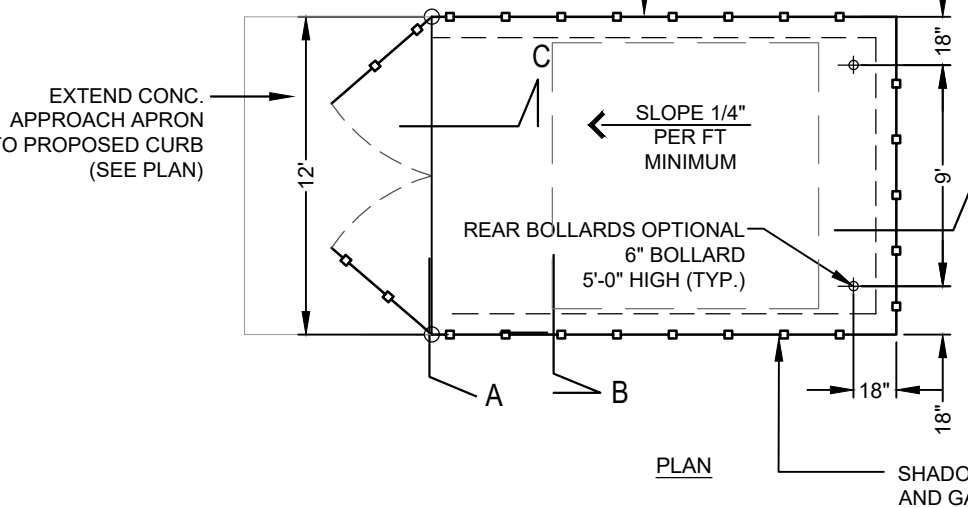
SECTION C-C



SECTION D-D

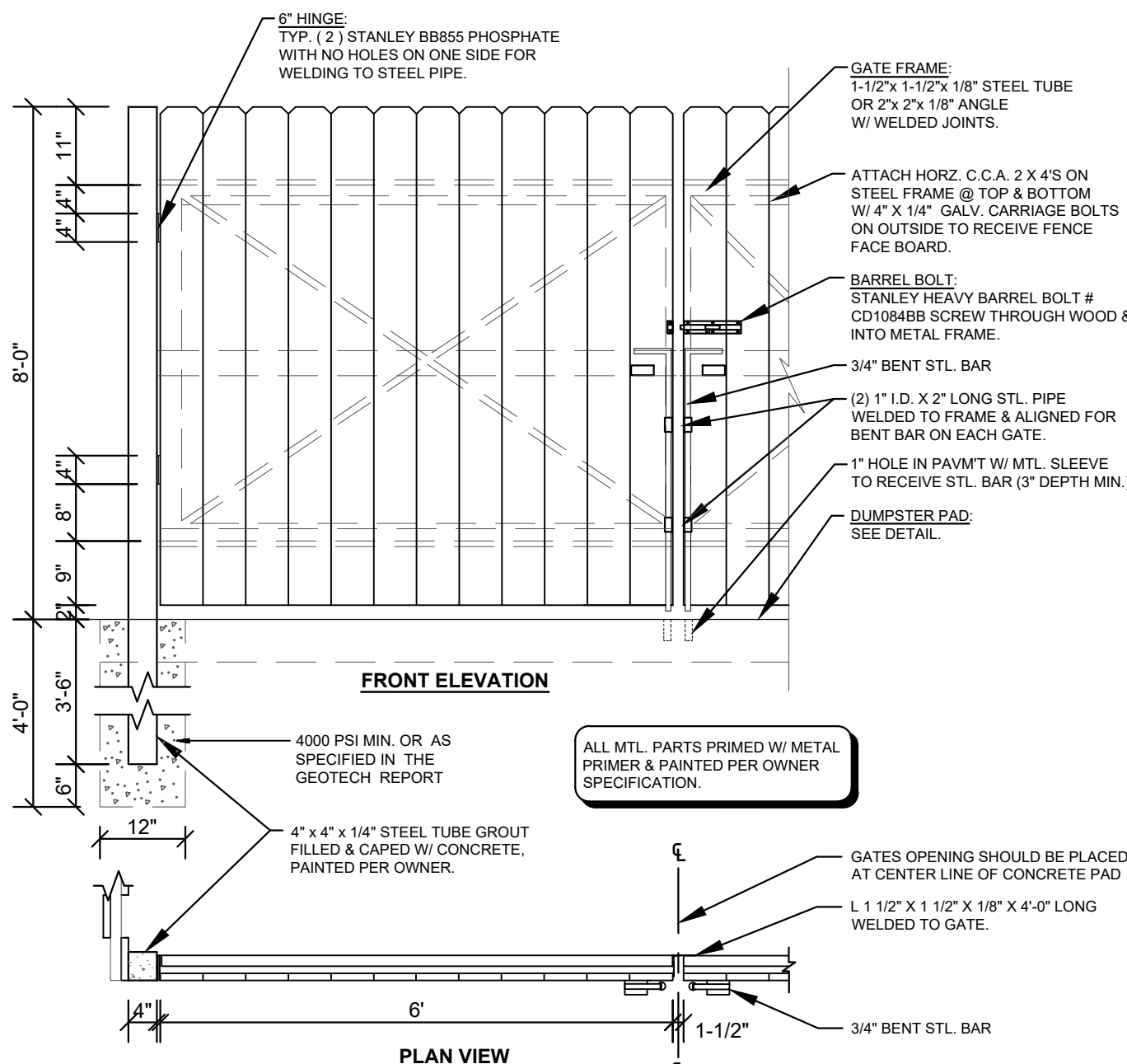


BOLLARD FOOTING



DUMPSTER PAD AND ENCLOSURE DETAIL

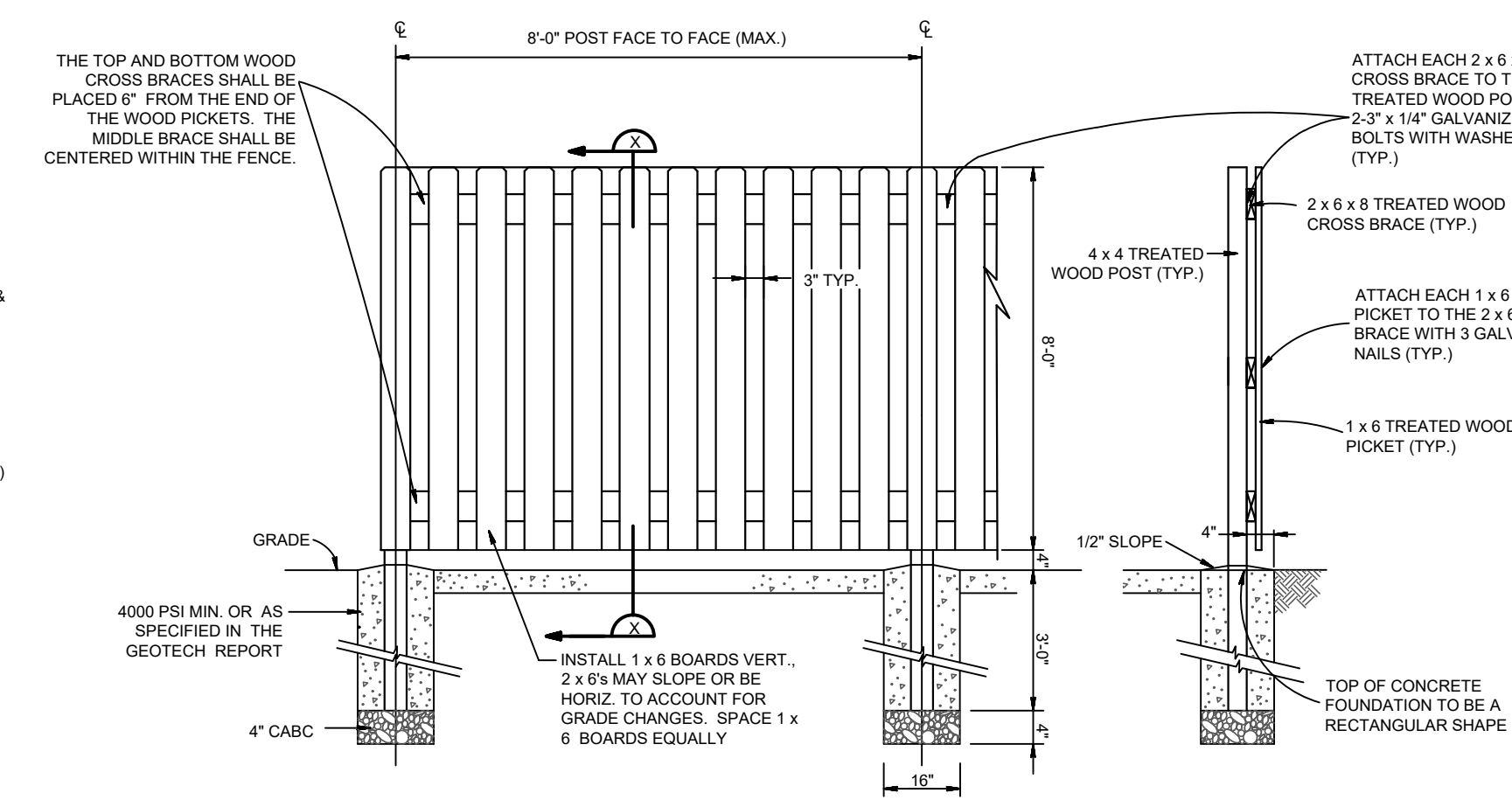
NOT TO SCALE



- NOTES:
1. SEE FENCING NOTES, THIS SHEET.

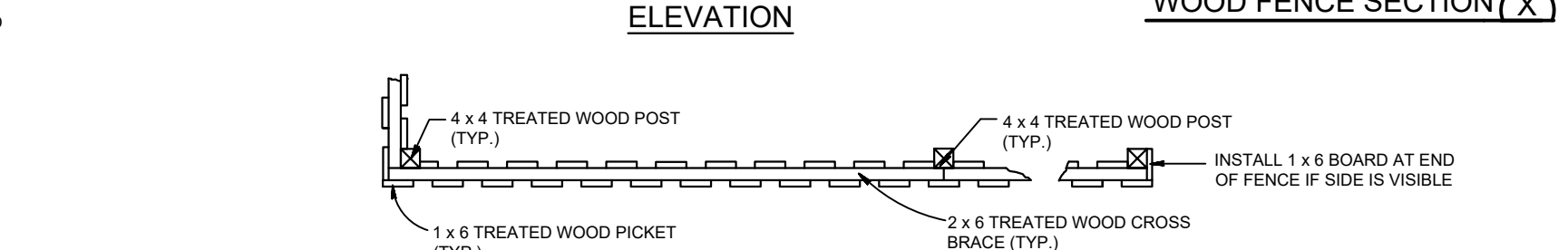
SHADOW BOX FENCE AND GATE DETAILS

NOT TO SCALE



ELEVATION

WOOD FENCE SECTION (X)



PLAN VIEW

REVISIONS:

CLIENT INFORMATION:

CROSSROADS HOLDINGS, LLC
1101 BUCK JONES RD.
RALEIGH, NC 27606

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2846

PROJECT STATUS
PRELIMINARY LAYOUT
FINAL DESIGN
RELEASED FOR CONSTRUCTION

SEAL

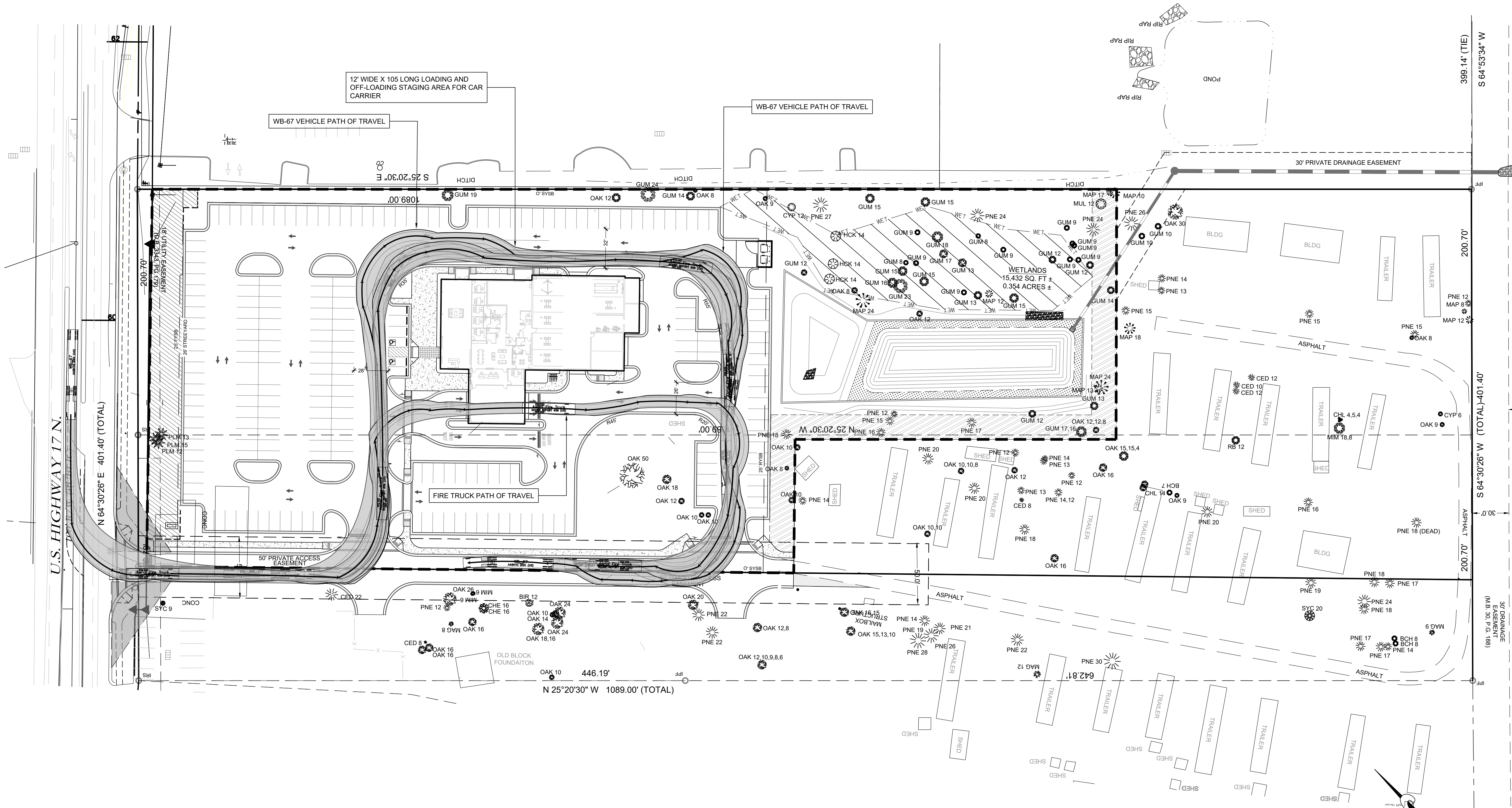
DRAWING INFORMATION
DATE: 12-15-19
SCALE: NO SCALE
DRAWN: JBSR
CHECKED: JBSR

Approved Construction Plan
Name: _____ Date: _____
Planning: _____
Traffic: _____
Fire: _____

PEI JOB#: 18458.PE

C-4.0

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

NCDENR PWSS WATER PERMIT #:

WATER CAPACITY: _____ GPD

DWQ SEWER PERMIT #:

SEWER SHED # AND PLANT:

SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

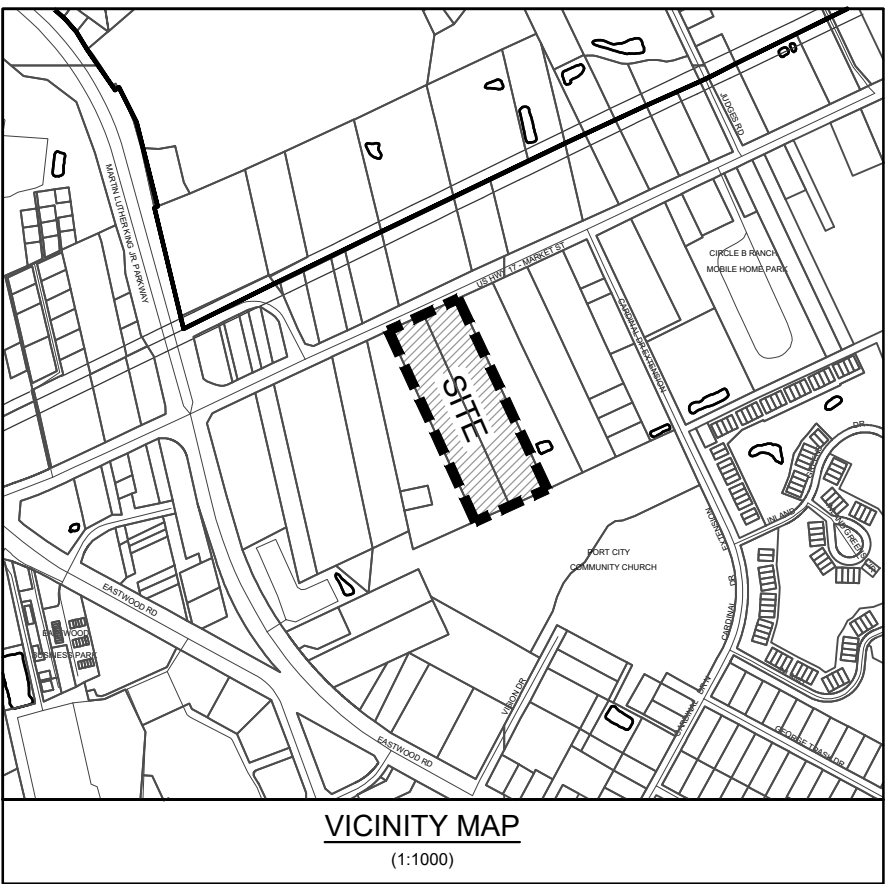
For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

GRAPHIC SCALE
0 30 60 120 240
SCALE: 1"=60'

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS DESIGN: PRELIMINARY FINAL DESIGN: _____ RELEASED FOR CONSTRUCTION: _____	CLIENT INFORMATION: CROSSROADS HOLDINGS, LLC 1101 BUCK JONES RD. RALEIGH, NC 27606
DRAWING INFORMATION DATE: 12/18/2019 SCALE: 1"=30' DRAWN: _____ CHECKED: _____	AUTOTURN EXHIBIT CROSSROADS INFINITY MARKET STREET WILMINGTON, NORTH CAROLINA
SEAL	PARAMOUNT ENGINEERING 122 Cinema Drive Wilmington, North Carolina 28403 (910) 791-6707 (O) (910) 791-6700 (F) NC License # C-2846
C-5.0	PEI JOB#: 18458.PE



SITE INFORMATION
OWNER INFORMATION:
(ALL PARCELS PER NHC GIS)

BRINKLEY, ESTON B KATIE
WILMINGTON, NC

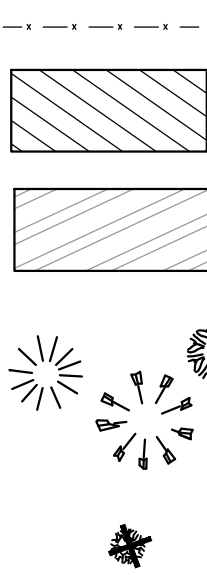
PROJECT ADDRESSES:

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:

R05009-005-007-000 & R05009-005-003-000
BK 334 PG 179 & BK 334 PG 179

LEGEND:



PROPOSED TREE PROTECTION FENCE
(SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER
(SEE LANDSCAPE PLAN, SHT. L-1.0)

PROPOSED REAR YARD
LANDSCAPE BUFFER
(SEE PLAN FOR DIMENSIONS)

EXISTING TREES TO REMAIN
(SYMBOLS VARY BY SPECIES,

EXISTING TREE TO BE REMOVED

INFINITI MARKET STREET - Tree Removal & Required Mitigation										
Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster Trunks	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Significant	Total Qty. of Mitigation Trees Required		
Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for " diameter at breast height"										
Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements, so only significant trees require mitigation										
REGULATED & SIGNIFICANT TREES										
Category 1 (100% Mitigation)										
1	4	4								
1	6	6	CRAPE MYRTLE	ornamental flowering	4	100%		1.3		
1	6	6	CRAPE MYRTLE	ornamental flowering	6	100%		2.0		
1	6	6	MAG (MAGNOLIA)	ornamental flowering	6	100%		2.0		
1	8	8	MAG (MAGNOLIA)	ornamental flowering	8	100%	YES	5.3		
1	10	10	MAPLE	hardwood	10	100%		3.3		
1	11	11	MAPLE	hardwood	11	100%		3.7		
1	22	22	TULIP TREE	hardwood	22	100%		7.3		
1	6	6	OAK (LIVE OAK)	hardwood	6	100%		4.0		
1	7	7	OAK (LIVE OAK)	hardwood	7	100%		2.3		
1	8	8	OAK (LIVE OAK)	hardwood	8	100%		2.7		
2	9	9	OAK (LIVE OAK)	hardwood	18	100%		6.0		
3	10	10	OAK (LIVE OAK)	hardwood	30	100%		10.0		
2	12	12	OAK (LIVE OAK)	hardwood	24	100%		8.0		
1	14	14	OAK (LIVE OAK) *	hardwood	14	100%		4.7		
3	14	14	OAK (LIVE OAK)	hardwood	42	100%		14.0		
1	16	16	OAK (LIVE OAK)	hardwood	16	100%		5.3		
1	20	20	OAK (LIVE OAK)	hardwood	20	100%		6.7		
1	22	22	OAK (LIVE OAK)	hardwood	22	100%		7.3		
1	24	24	OAK (LIVE OAK) *	hardwood	24	100%	YES	16.0		
1	24	24	OAK (LIVE OAK)	hardwood	24	100%	YES	16.0		
1	17	17	OAK (LIVE OAK) - MULTI	hardwood	17	100%		5.7		
Subtotal Category 1 Significant Trees Mitigation Required:								37.3		
Total Mitigation Trees Required:								37		
Total Category 1 Regulated Trees To Be Removed with Essential Site Improvements:										
96.3										

Category 2 (75% Mitigation)										
3	10	10				GUM (SWEETGUM)	hardwood	30	75%	7.5
9	12	12				GUM (SWEETGUM)	hardwood	108	75%	27.0
2	13	13				GUM (SWEETGUM)	hardwood	26	75%	6.5
2	14	14				GUM (SWEETGUM)	hardwood	28	75%	7.0
2	15	15				GUM (SWEETGUM)	hardwood	30	75%	7.5
1	17	17				GUM (SWEETGUM)	hardwood	17	75%	4.3
1	18	18				GUM (SWEETGUM)	hardwood	18	75%	4.5
1	21	21	9			GUM (SWEETGUM) MULTI	hardwood	21	75%	5.3
1	27	27	9			GUM (SWEETGUM) MULTI	hardwood	27	75%	13.5
1	29	29				GUM (SWEETGUM)	hardwood	29	75%	14.5
2	8	8				CEDAR	conifer	16	75%	4.0
1	10	10				CEDAR	conifer	10	75%	2.5
1	12	12				CEDAR	conifer	12	75%	3.0
1	12	12				CEDAR *	conifer	12	75%	3.0
1	17	17				CEDAR	conifer	17	75%	4.3
1	14	14				HICKORY	hardwood	14	75%	3.5
1	14	14				CHERRY	ornamental	14	75%	7.0
Subtotal Category 2 Significant Trees Mitigation Required:										35.0
Total Mitigation Trees Required:										35
Total Category 2 Regulated Trees To Be Removed with Essential Site Improvements:										
89.8										

INFINITI MARKET STREET - Tree Removal & Required Mitigation										
Qty of Trees	Caliper Inches*	Individual Trunk Calipers AND Individual Cluster Trunks	Tree Common Name	City Tree Type Classification	Total Cal. Inches to be Removed	% Mitigation	Significant	Total Qty. of Mitigation Trees Required		
Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for " diameter at breast height"										
Essential Site Improvements: It is anticipated that all trees will be removed for essential site improvements, so only significant trees require mitigation										
REGULATED & SIGNIFICANT TREES										
Category 3 (50% Mitigation)										
1	12	12	PINE (LOBLOLLY)	conifer	12	50%		2.0		
3	13	13	PINE (LOBLOLLY)	conifer	39	50%		6.5		
2	14	14	PINE (LOBLOLLY)	conifer	28	50%		4.7		
2	15	15	PINE (LOBLOLLY)	conifer	30	50%		5.0		
2	16	16	PINE (LOBLOLLY)	conifer	32	50%		5.3		
2	17	17	PINE (LOBLOLLY)	conifer	34	50%		5.7		
2	18	18	PINE (LOBLOLLY)	conifer	36	50%		6.0		
2	19	19	PINE (LOBLOLLY)	conifer	38	50%		6.3		
1	20	20	PINE (LOBLOLLY)	conifer	20	50%		3.3		
2	22	22	PINE (LOBLOLLY)	conifer	44	50%		7.3		
1	30	30	PINE (LOBLOLLY)	conifer	30	50%	YES	10.0		
Subtotal Category 3 Significant Trees Mitigation Required:								10.0		
Total Mitigation Trees Required:								10		
Total Category 3 Regulated Trees To Be Removed with Essential Site Improvements:										
52.2										

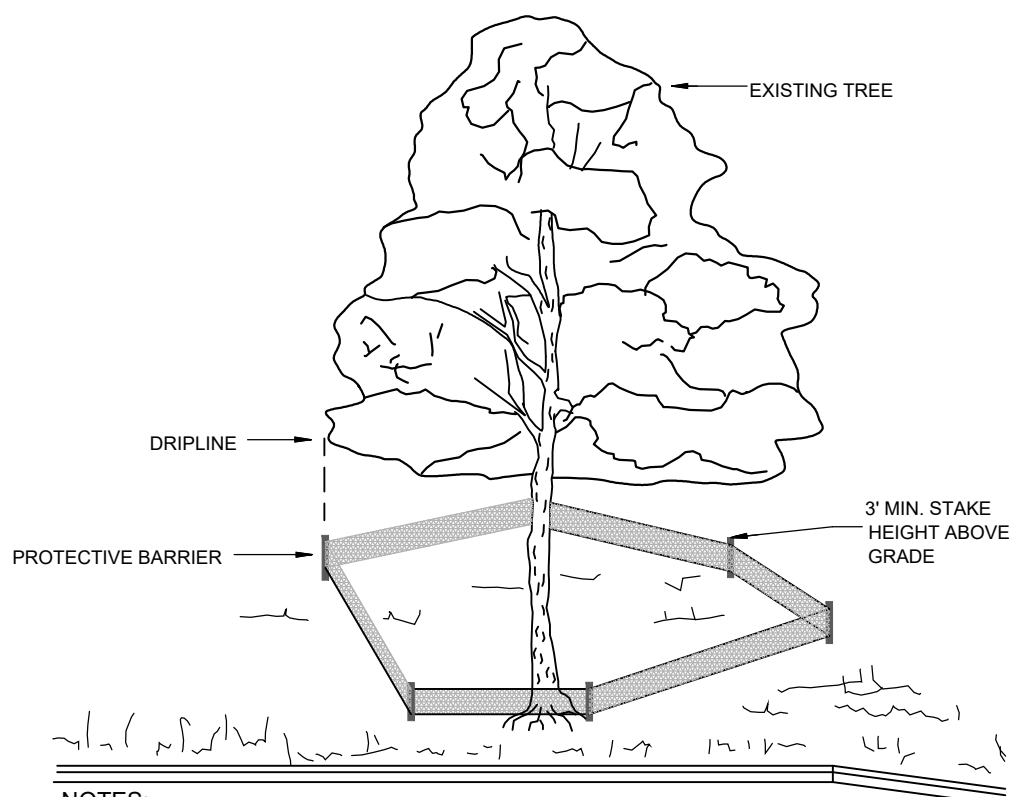
Category 4 (25% Mitigation)											
1	8	8					MULBERRY	hardwood	8	25%	0.7

Total Qty. of Regulated Trees to be Removed for Essential Site Improvements (No Mitigation Required)		239
Sub-Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):		82
Tree Save Credits:		111
Total Qty. of Mitigation Trees Required on Site (or Pay in Lieu Equivalent):		-29

* TREES WITH ASTERISK INDICATE TREES THAT ARE LOCATED OUTSIDE THE SUBJECT PROPERTY LINE, BUT ARE LOCATED WITHIN THE PROPOSED DRIVEWAY AND TO BE REMOVED TO ACCOMMODATE PROPOSED IMPROVEMENTS ASSOCIATED WITH THIS PROJECT.

INFINITI MARKET STREET - Tree Preservation Credit				
Qty of Trees	Caliper Inches *	Tree Common Name	Total Tree Caliper Inches to be Preserved	Mitigation Credit for Preserved Trees (# of trees)
Note: * All listed as total caliper inches for entire tree cluster or single tree trunk caliper in compliance with City of Wilmington Land Development Code definition for " diameter at breast height"				
1	8	OAK	8	
1	9	OAK	9	
2	10	OAK	20	
3	12	OAK	36	
1	18	OAK	18	
1	50	OAK	50	
1	12	CYPRESS	12	
3	8	GUM	24	
10	9	GUM	90	
3	12	GUM	36	
2	13	GUM	26	
1	14	GUM	14	
5	15	GUM	75	
1	16	GUM	16	
1	17	GUM	17	
1	18	GUM	18	
1	19	GUM	19	
1	23	GUM	23	
1	24	GUM	24	
1	12	MAPLE	12	
1	24	MAPLE	24	
1	24	PINE	24	
1	27	PINE	27	
3	14	HICKORY	42	
TOTAL CALIPER INCHES RETAINED ON SITE			664	111
TOTAL TREE CREDITS				111

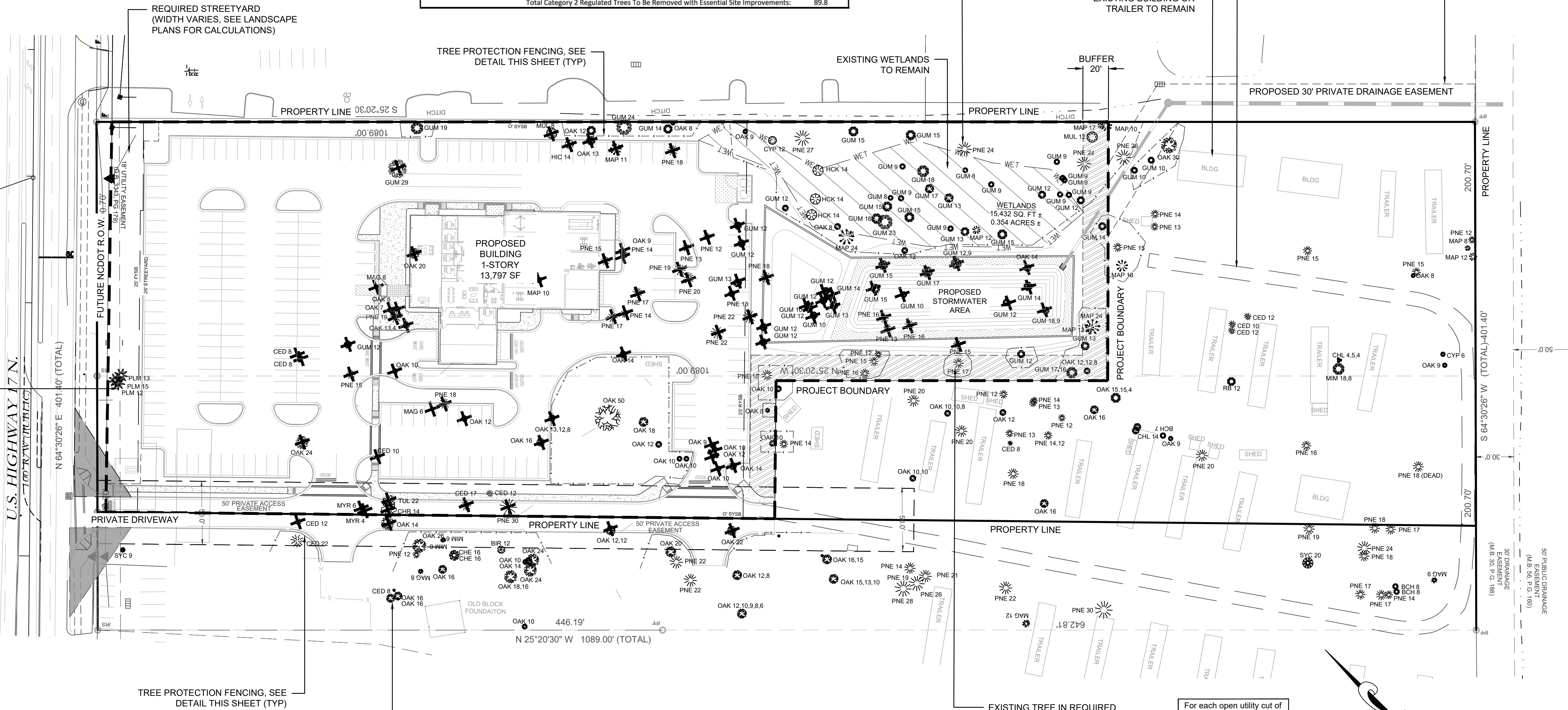
EXISTING TREES LOCATED IN REQUIRED STREETYARD TO REMAIN PER CITY REQUIREMENTS



NOTES:

- TREES TO BE SAVED WILL BE CLEARLY MARKED PRIOR TO CONSTRUCTION
- INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION
- FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER
- DRIPLINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES
- CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER

METHOD OF TREE PROTECTION DURING CONSTRUCTION



TREE PROTECTION FENCING, SEE DETAIL THIS SHEET (TYP)

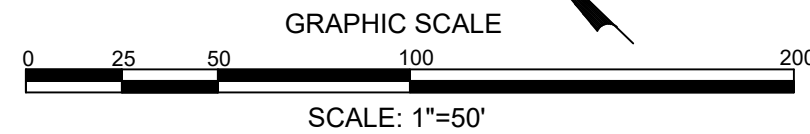
EXISTING TREE TO REMAIN LOCATED OUTSIDE PROJECT AREA AND NOT COUNTED TOWARDS TREE SAVE CREDITS FOR THIS PROJECT

WILMINGTON NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

NCDENR PWSS WATER PERMIT # _____
WATER CAPACITY: _____ GPD
DWQ SEWER PERMIT # _____
SEWER CAPACITY: _____ GPD
SEWER SHED # AND PLANT: _____
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS:

CLIENT INFORMATION:

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2846

TREE INVENTORY
TREE REMOVAL & PRESERVATION
CROSSROADS INFINITY
MARKET STREET
WILMINGTON, NORTH CAROLINA

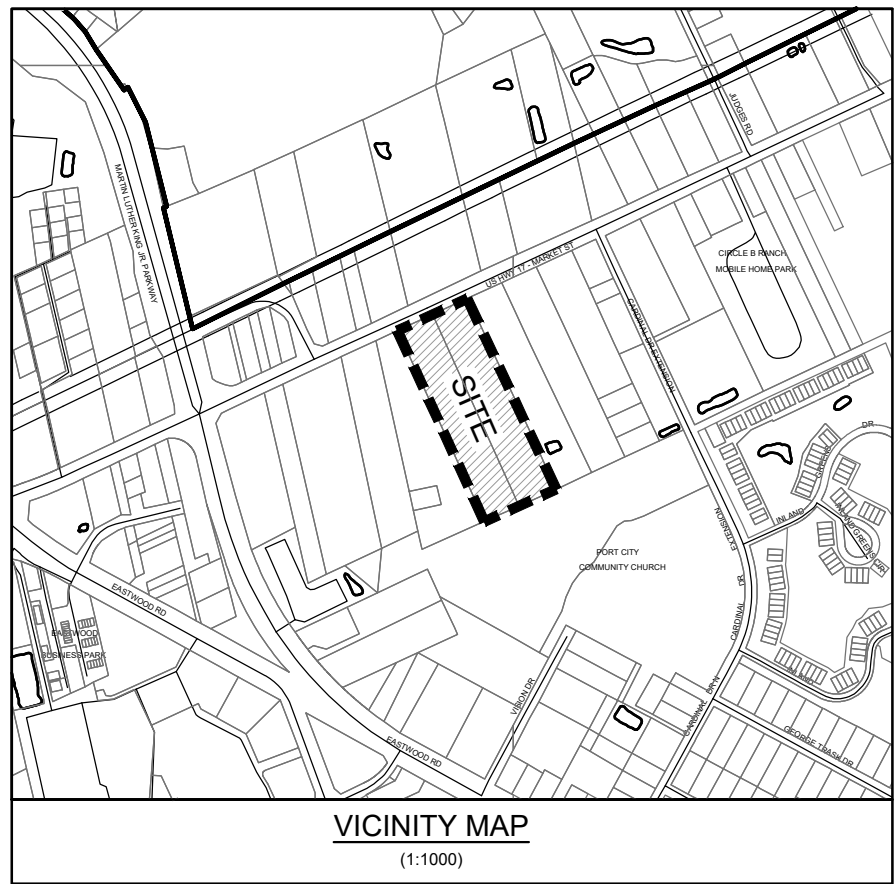
PROJECT STATUS
DATE: 12/18/2019
SCALE: 1"=50'
DRAWN: [Signature]
CHECKED: [Signature]

SEAL

L-1.0

PEI JOB#: 18458.PE

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION

OWNER INFORMATION:
(ALL PARCELS PER NHC GIS)

PROJECT ADDRESSES:

TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:

BRINKLEY, ESTON B KATIE
WILMINGTON, NC 28405

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

R05009-005-007-000 & R05009-005-003-000
BK 334 PG 179 & BK 334 PG 179
RB - REGIONAL BUSINESS (BOTH PARCELS)
COMMERCIAL (BOTH PARCELS)
AUTOMOBILE SALES / SERVICE

LANDSCAPE CALCULATIONS:

STREET YARD LANDSCAPING - Sec. 18-477

MARKET STREET 308 LF - 12.5' DRIVEWAY = 295.5 LF * 25 = 7,387.5 SF	REQ'D 7,387.5 SF	PROV 7,421.6 SF
7,387.5 SF / 600 SF = 12.3		
1 CANOPY TREE / 600 SF; OR 3 UNDERSTORY TREES / 600 SF 6 SHRUBS / 600 SF	37	34 NEW / 3 EXISTING
	74	79

PARKING LOT LANDSCAPING

Interior Area Landscaping - Sec. 18-481

95,523 SF * 20% SHADING
(28) PROPOSED TREES @ 707 SF EACH = 19,796 SF
(2) EXISTING TREES @ 354 SF EACH = 707 SF

(SEE PLAN FOR SF OF SHADE ASSIGNED FOR EACH TREE IN PARKING/VEHICULAR AREAS)

Parking Area Screening - Sec. 18-483

PARKING AREA SCREENING AT MARKET STREET SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AND FIVE (5) FEET IN WIDTH AND MAY BE INCORPORATED INTO THE STREET YARD, PROVIDED THE STREET YARD IS FIFTEEN (15) OR MORE IN WIDTH

BUFFER YARDS - Sec. 18, 18-503

EXISTING VEGETATION AT REAR OF PROJECT BOUNDARY AT THE EASTERN EDGE OF THE PROPOSED IMPROVEMENTS TO REMAIN TO THE MAXIMUM EXTENT POSSIBLE AND SERVE AS REQUIRED BUFFER YARD PLANTING AND SCREENING BETWEEN THE PROPOSED PROJECT AND THE ADJACENT RESIDENTIAL PROPERTIES. ADDITIONAL PLANTING SHALL BE PROVIDED AS NEEDED TO MEET THE CITY'S MINIMUM SCREENING (OPACITY) REQUIREMENTS (SEE PLAN).

Additional vegetation shall be installed as required to meet the Buffer Yard requirements where existing vegetation does not provide required screening

IMPERVIOUS AREA WITHIN STREETYARD - Sec. 18, 18-477(B)(4) & 18-481(C)

NO MORE THAT FIFTEEN (15) PERCENT OF THE REQUIRED STREET YARD SHALL BE COVERED WITH AN IMPERVIOUS SURFACE.

PEDESTRIAN SIDEWALK IN STREET YARD = 130 SF (0.68% OF REQUIRED STREET YARD)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	GIN BIL	37	Ginkgo biloba Maidenhair Tree	2.5" CAL	
	LAG YUM	34	Lagerstroemia x 'Yuma' Crape Myrtle 'Standard'	8" H min.	
	LO	16	Quercus virginiana Southern Live Oak	2.5" CAL	
PALM TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
	SAB PAL	3	Sabal palmetto Cabbage Palmetto	Existing	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING
	BM	118	Buxus m. 'Wintergreen' Wintergreen Boxwood	7 gal	
	ILE VOM	79	Ilex vomitoria 'Nana' Dwarf Yaupon	7 gal	36" O.C.
	LJ2	104	Ligustrum 'Recurvifolium' Wax leaf ligustrum	3" HT min.	48" O.C.
	MC6	65	Myrica cerifera Wax Myrtle	3" Ht. min.	
	PM6	9	Podocarpus m. maki Shrubby Yew Podocarpus	25 gal - 8" x 4"	
	RX4	203	Rosa x 'Meigalpio' Red Drift Rose	3 gal	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	TA	233	Trachelospermum a. 'Asiatic' Asiatic Jasmine	4" pot	18" o.c.

FOUNDATION PLANTING REQUIREMENTS

CALCULATIONS PER EACH SIDE OF BUILDING:

NORTH: 162 LF X 25.3' = 4,099 * 0.12 = 492 SF

SOUTH: 150 LF X 25.3' = 3,795 * 0.12 = 456 SF

EAST: 73 LF X 25.3' = 1,847 * 0.12 = 222 SF

WEST: 77 LF X 25.3' = 1,948 * 0.12 = 234 SF

REQ'D

PROV

492 SF

494 SF

456 SF

536 SF

222 SF

230 SF

234 SF

234 SF

PERIMETER LANDSCAPING CALCULATIONS - Sec. 18, 18-482

A LANDSCAPED YARD 10 FEET IN WIDTH SHALL BE REQUIRED ALONG ANY SIDE OF A PARKING LOT ADJUTING A SEPARATE PARKING LOT, DRIVEWAY OR RESIDENTIALLY ZONED PROPERTY. PLANTINGS SHALL CONSIST OF (1) TREE EVERY 18' TO 27'.

NORTH PROPERTY LINE AT ADJACENT PARKING

411 LF / 27' = 15.2 TREES REQUIRED

16 TREES PROVIDED, (4 EXISTING TREES & 12 PROPOSED TREES)

SOUTH PROJECT BOUNDARY LINE AT PROPOSED DRIVEWAY (50' ACCESS EASEMENT)

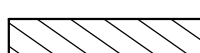
243 LF / 27' = 9 TREES REQUIRED

9 TREES PROVIDED

UNDERGROUND INFRASTRUCTURE NOTES

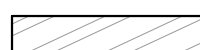
GENERAL LOCATIONS AND SIZES OF WATER, SEWER, STORM DRAIN LINES, FIRE HYDRANTS AND SEWER LINES ARE SHOWN ON THE PLAN

LEGEND:



PROPOSED TREE PROTECTION FENCE
(SEE DETAIL, SHEET C-2.1)

PROPOSED STREETYARD BUFFER



PROPOSED REAR YARD
LANDSCAPE BUFFER
(SEE PLAN FOR DIMENSIONS)

EXISTING TREES TO REMAIN
(SYMBOLS VARY BY SPECIES,
SEE TREE REMOVAL & PROTECTION
PLAN, SHEET L-2.0)

SF OF SHADE PROVIDED PER TREE
AT PARKING FACILITY

SF OF PLANTER AREA IN PARKING
FACILITY

SIGHT DISTANCE TRIANGLE NOTES

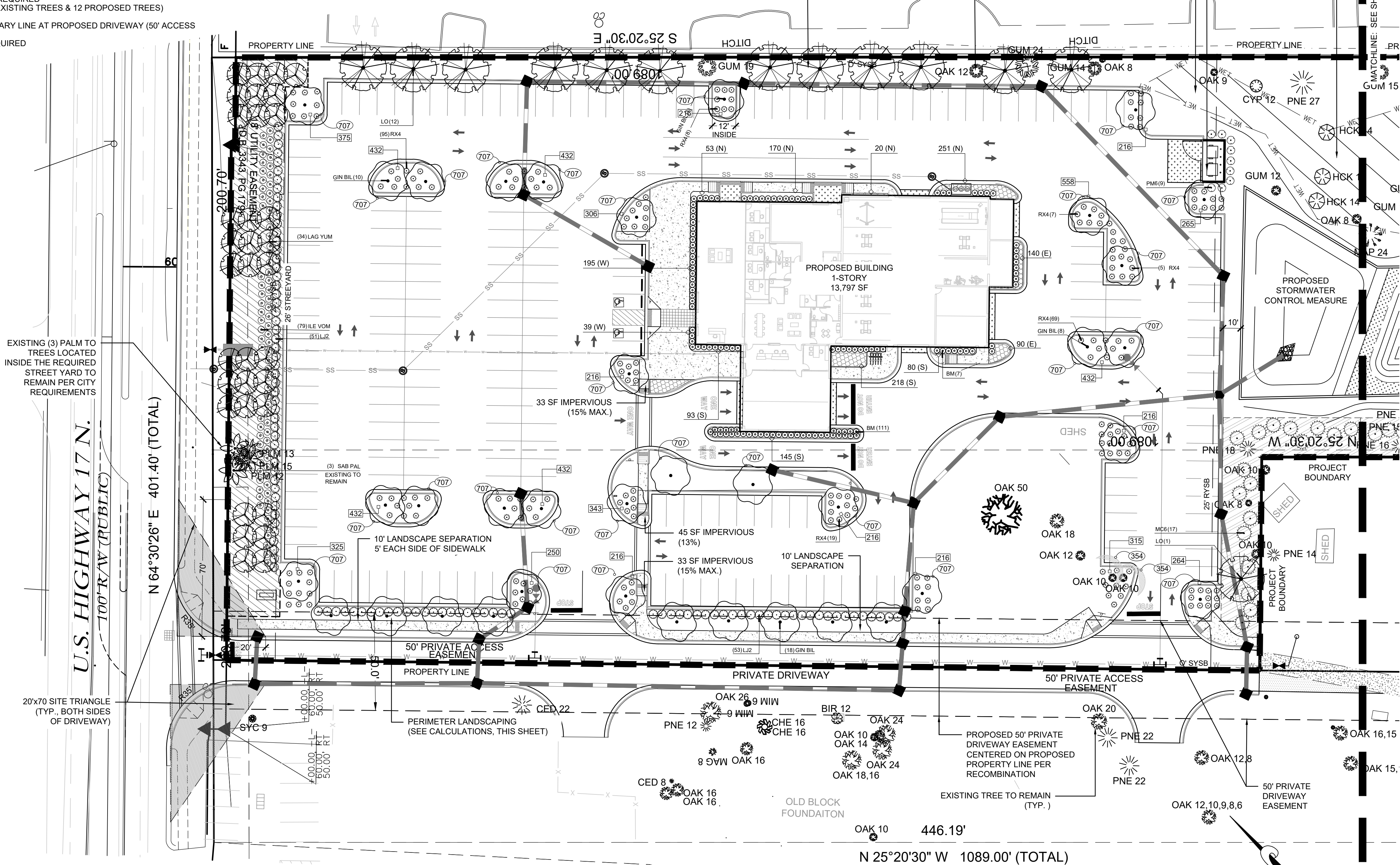
1. ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE).

EXISTING TREE/VEGETATION LINE - VARIOUS SIZES PINES AND EVERGREEN SHRUBS TO REMAIN TO SERVE AS PROJECT BUFFER - ADDITIONAL PLANT MATERIAL TO BE PROVIDED TO MEET THE MINIMUM SCREENING REQUIREMENTS

SOLID WASTE NOTE:

SOLID WASTE WILL BE HANDLED BY DUMPSTER SERVICES, THE PROPOSED CONCRETE DUMPSTER PAD WITH WILL HAVE A COMBINATION OF SOLID WOOD FENCING & VEGETATIVE SCREENING TO 8' TALL AS REQUIRED PER SEC. 18-504 (SEE LANDSCAPE PLANS)

EXISTING WETLANDS
TO REMAIN



20'x70' SITE TRIANGLE
(TYP., BOTH SIDES
OF DRIVEWAY)

U.S. HIGHWAY 17 N.
100' R/W (PUBLIC)

N 64°30'26" E 401.40' (TOTAL)

PERIMETER LANDSCAPING
(SEE CALCULATIONS, THIS SHEET)

PRIVATE DRIVEWAY

50' PRIVATE ACCESS EASEMENT

N 25°20'30" W 1089.00' (TOTAL)

LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO TREE, OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE

- SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNEVELED GROUND.
- IRRIGATION SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
 - THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
 - CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY. ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDED.
 - ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
 - PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

BUFFER YARDS - Sec. 18, 18-503

PLANTED BUFFERS SHALL PERFORM AS "OPAQUE SCREENS", PROVIDING 100% OPACITY FROM THE GROUND TO 6 FEET HIGH, WITH INTERMITTENT VISUAL OBSTRUCTIONS TO AT LEAST 20 FEET HIGH. SHRUBS SHALL BE 3' HIGH AT PLANTING AND AT LEAST (1) TREE SHALL BE PROVIDED 30' O.C. ON AVERAGE.

EXISTING VEGETATION AT REAR OF PROJECT BOUNDARY WHERE ADJACENT TO RESIDENTIAL USES SHALL REMAIN TO THE MAXIMUM EXTENT POSSIBLE AND SERVE AS REQUIRED BUFFER YARD PLANTING AND SCREENING. ADDITIONAL PLANTING SHALL BE PROVIDED AS NEEDED TO MEET THE CITY'S MINIMUM SCREENING (OPACITY) REQUIREMENTS (SEE PLAN).

PROJECT BOUNDARY LINE (ADJACENT RESIDENTIAL)
573 LF / (1) TREE AT 30' O.C.

REQ'D
19.1

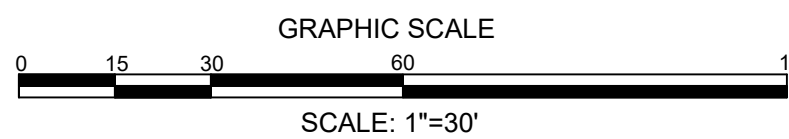
PROV
15 EXISTING
4 NEW

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan	
Name _____	Date _____
Planning _____	
Traffic _____	
Fire _____	

CITY OF WILMINGTON NORTH CAROLINA	
Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date: _____	Permit # _____
Signed: _____	

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY: _____ GPD	
DWQ SEWER PERMIT #:	
SEWER CAPACITY: _____ GPD	
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)	



REVISIONS:

CROSSROADS HOLDINGS, LLC

PARAMOUNT ENGINEERING

122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License # C-2846

LANDSCAPE PLAN

CROSSROADS INFINITI
5730 & 5740 MARKET STREET
WILMINGTON, NORTH CAROLINA

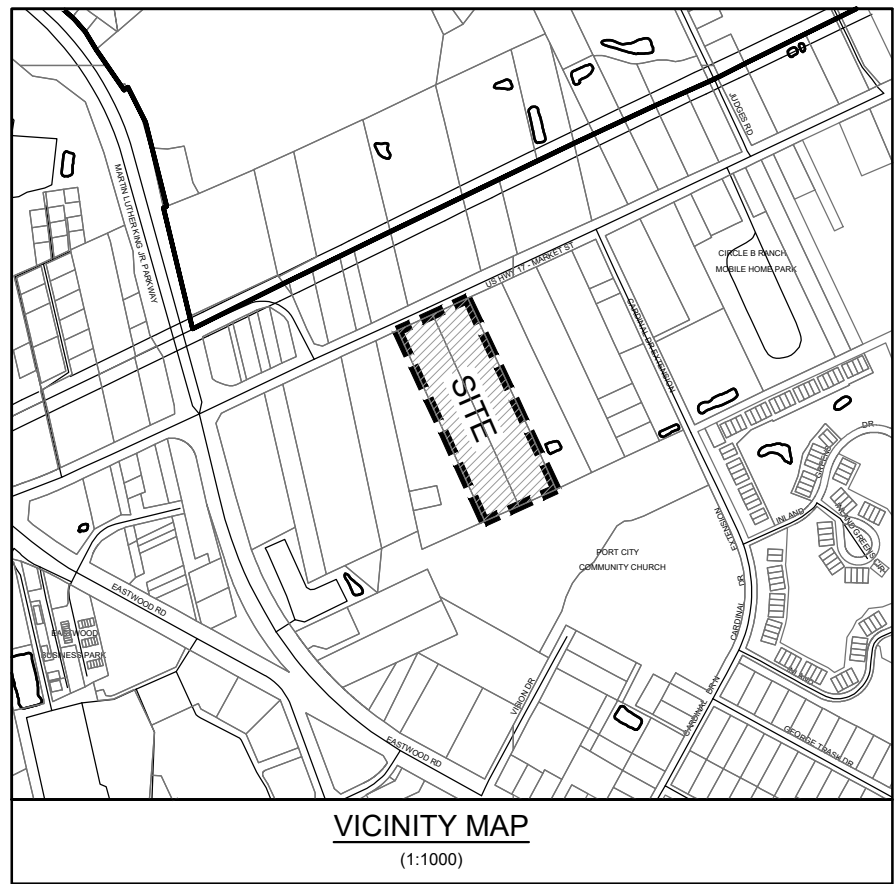
PROJECT STATUS

SEAL

DATE: 12/18/2019
SCALE: 1"=30'

L-2.0

PEI JOB#: 18446.PE



SITE INFORMATION
OWNER INFORMATION:
(ALL PARCELS PER NHC GIS)

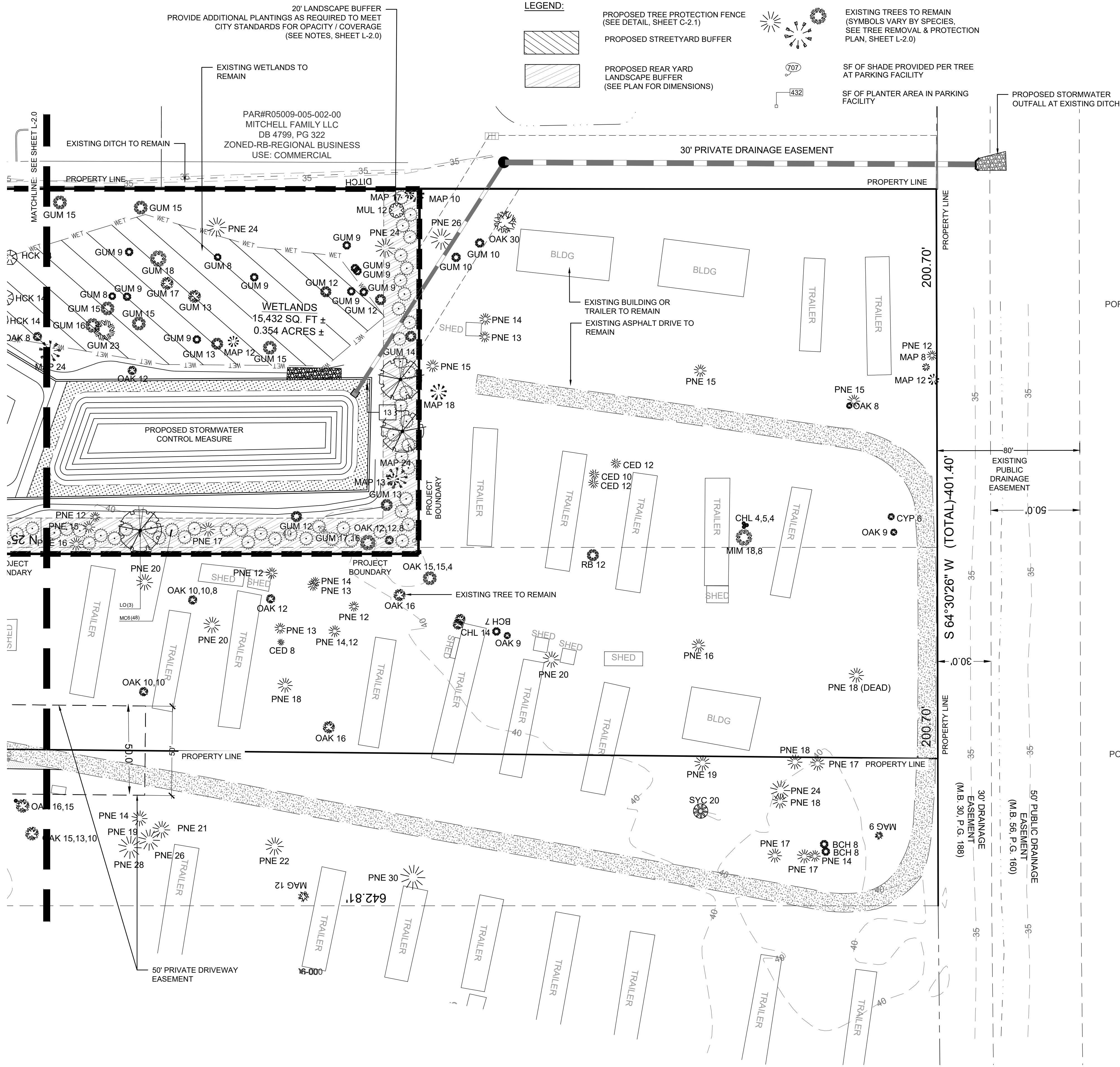
PROJECT ADDRESSES:

TAX PARCEL IDENTIFICATION #:
RECORDED DEED BOOK:
CURRENT ZONING:
EXISTING USE:
PROPOSED USE:

BRINKLEY, ESTON B KATIE
WILMINGTON, NC

5730 & 5740 MARKET STREET
WILMINGTON, NC 28405

R05009-005-007-000 & R05009-005-003-000
BK 334 PG 179 & BK 334 PG 179
RB - REGIONAL BUSINESS (BOTH PARCELS)
COMMERCIAL (BOTH PARCELS)
AUTOMOBILE SALES / SERVICE



LEGEND:



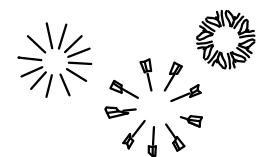
PROPOSED TREE PROTECTION FENCE
(SEE DETAIL, SHEET C-2.1)



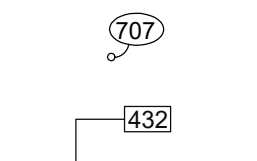
PROPOSED STREETYARD BUFFER



PROPOSED REAR YARD
LANDSCAPE BUFFER
(SEE PLAN FOR DIMENSIONS)



EXISTING TREES TO REMAIN
(SYMBOLS VARY BY SPECIES,
SEE TREE REMOVAL & PROTECTION
PLAN, SHEET L-2.0)

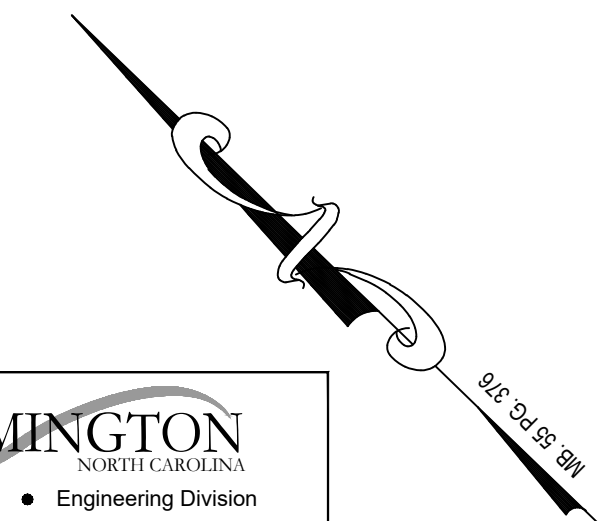


SF OF SHADE PROVIDED PER TREE
AT PARKING FACILITY



SF OF PLANTER AREA IN PARKING
FACILITY

PROPOSED STORMWATER
OUTFALL AT EXISTING DITCH

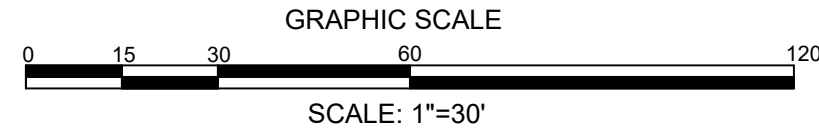


Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

NCDENR PWSS WATER PERMIT #:	
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CITY OF WILMINGTON NORTH CAROLINA	
Public Services • Engineering Division	
APPROVED STORMWATER MANAGEMENT PLAN	
Date:	Permit #
Signed:	



PID: R05000-002-004-000
PORT CITY COMMUNITY CHURCH
DB 5659, PG 68
ZONED-R-10
USE: CHURCH

PID: R05000-002-004-000
PORT CITY COMMUNITY CHURCH
DB 5659, PG 68
ZONED-R-10
USE: CHURCH

PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

PROJECT STATUS	DATE
DESIGNED BY	12/18/2019
PRELIMINARY LAYOUT	11" x 30"
RELEASED FOR CONSTRUCTION	11" x 30"
DRAWING INFORMATION	11" x 30"
DATE	12/18/2019
SCALE	11" x 30"
DRAWN	11" x 30"
CHECKED	11" x 30"

SEAL

L-2.1

PEI JOB#: 18446.PE

REVISIONS:

CLIENT INFORMATION:

CROSSROADS HOLDINGS, LLC

PARAMOUNT ENGINEERING, INC.

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LANDSCAPE PLAN

CROSSROADS INFINITI
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